

a - TPlan Lodge

north (typical)



3D Johnston + Clark St cnr

CASINO Town Plan - Drawing Register

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TPL 0-04	a	3D Views Detail - CHIFF Entry	20Dec23
TPL 0-05	a	3D Views Detail - Courts + Play	20Dec23
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TPL 9-02	a	SITE AREA Plan - UPPER	20Dec23
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TPL 9-04	a	SITE AREA Plan - Landscape	20Dec23

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1 JOHNSTON ST 3d
TPL 0-02



2 CNR JOHNSTON+CLARK 3d
TPL 0-02



3 CLARK ST 3d
TPL 0-02



4 NW 3D (Rear Boundary - Fenced)
TPL 0-02

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P1	4Dec23	TPLAN prep 4Dec
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P2	11Dec23	TPlan update
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a	20Dec23	TPlan Lodge
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PROJECT

CHIFF/Core+Cluster

1 2 3 4 5

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SCALE

10cm

CLIENT

Momentum Collective

cnr Johnston St + Clark St CASINO

PROJECT NO.

0197:001-B

Dwg Revision

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SHEET NAME

3D OVERALL

Views

TPL 0-02

DRAWING NO.

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2 C+C Driveway Entry



1b Landscape Entry



1a Shop Top from Driveway

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SHEET NAME

3D Views Detail -
Core + Cluster

TPL 0-03

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Version: 1, Version Date: 15/02/2024

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1 3D - Johnston St Res Entry
TPL 0-04



2 3D Clark St Dwy Entry
TPL 0-04



3 3D - Clark St Entry
TPL 0-04

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SCALE

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SHEET NAME
3D Views Detail -
CHIFF Entry
TPL 0-04
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1 Play Area between Courts



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a	20Dec23	TPlan Lodge

a - TPlan Lodge



EASTERN ELEVATION OF CLARK ST



SOUTHERN ELEVATION OF SITE
From Johnston St



EASTERN ELEVATION OF CLARK ST



CLARK ST STREETSCAPE
Opposite Site (approx)



EASTERN ELEVATION OF SITE

From Clark St + Johnston St Intersection



ELEVATION OF SERVICE STATION



ELEVATION OF SIDE OF SITE (NORTH SIDE)
Exist Houses Adjacent to Site



JOHNSTON ST OPPOSITE SITE

Discovery Park and Sporting Fields



JOHNSTON ST OPPOSITE SITE

From Clark St + Johnston St Intersection

4 Locality Plan

1 : 1000

Momentum
Collective
HIFF/Core+Cluster
cnr Johnston St + Clark St
CASINO
0197:001-B
TPL 1-00
Site Context -
Photos (A1)

Revision Schedule		
Description	No	Date
TPLAN prep 4Dec	P1	4Dec23
TPlan update	P2	11Dec23
TPlan Lodge	a	20Dec23

ibn 71 724 842 452 arch reg 003401

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Johnston Street

1 Site Context Plan

1 : 500

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SHEET NAME

Site Context
Locality Plan

TPL 1-01

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a - TPLan Lodge



Existing Commercial Tenancies

Existing Service Station

Existing Neighbouring House

Existing Neighbouring House

Existing Neighbouring House

Existing Neighbouring House (small lot)

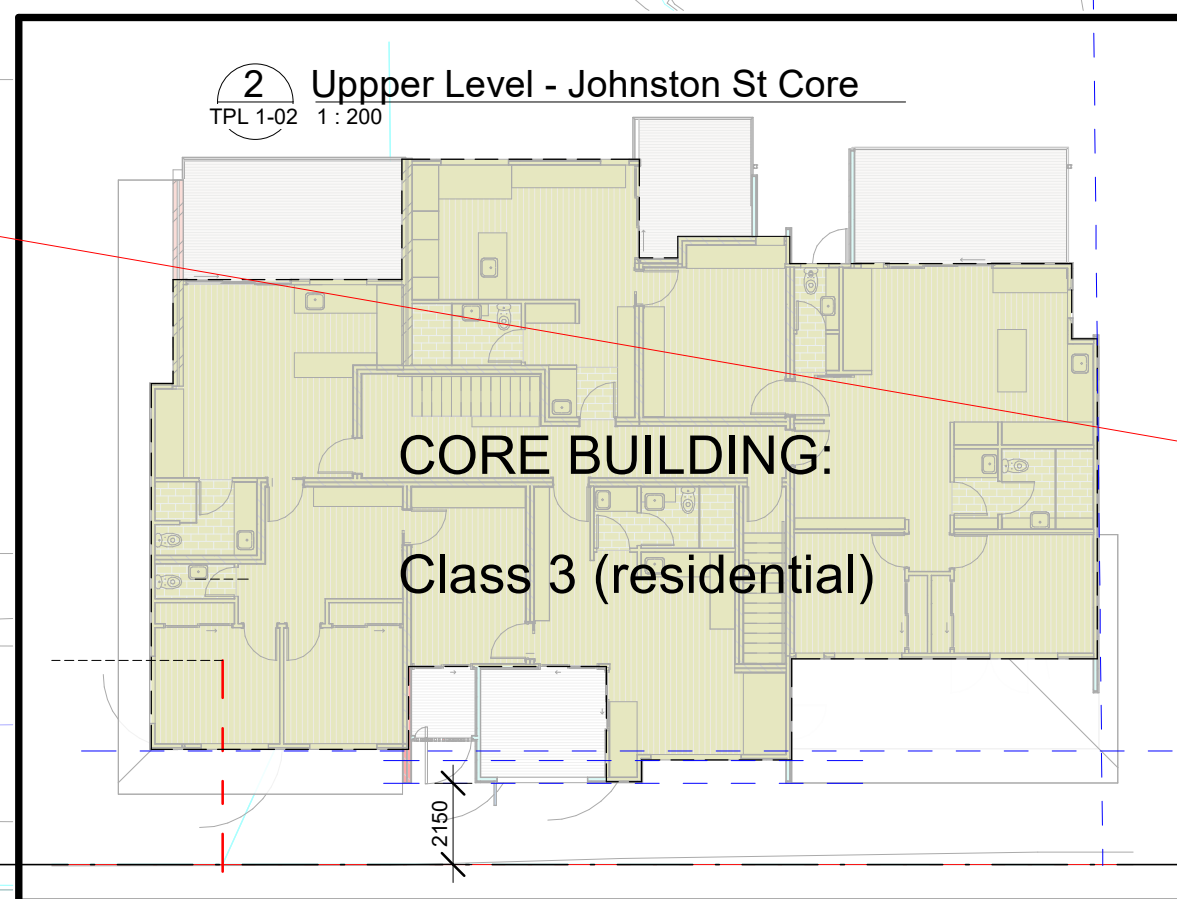
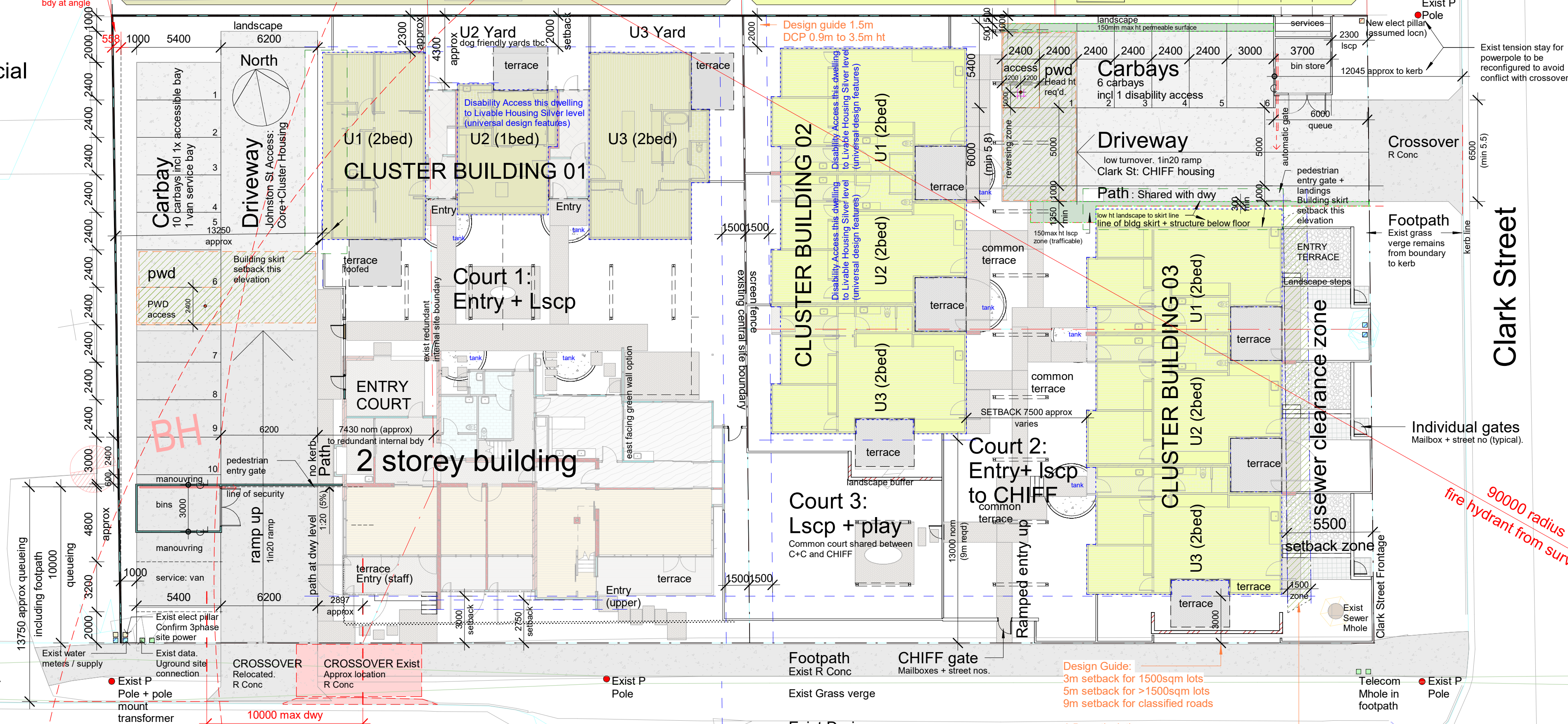
Existing Neighbouring House (small lot)

Exist shed

Exist shed

JOHNSTON ST CORE+CLUSTER HOUSING

CLARK ST CHIFF HOUSING



Johnston Street

SITE PLAN A1

1 : 200 @ A1 size. A3 is 50% (1:400)



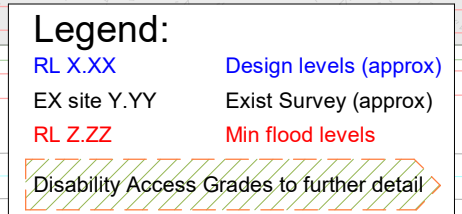
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CHIFF/Core+Cluster
cnr Johnston St + Clark St
CASINO
0197-001-B
TPL 1-02
Site Plan A1
22Dec23 remove overhead power lines

Revision Schedule			
Description	No	Date	
TPPLAN prep 4Dec	P1	4Dec23	
TPPlan update	P2	11Dec23	
TPPlan Lodge	A	20Dec23	

abn 71 724 842 452 arch reg 003401

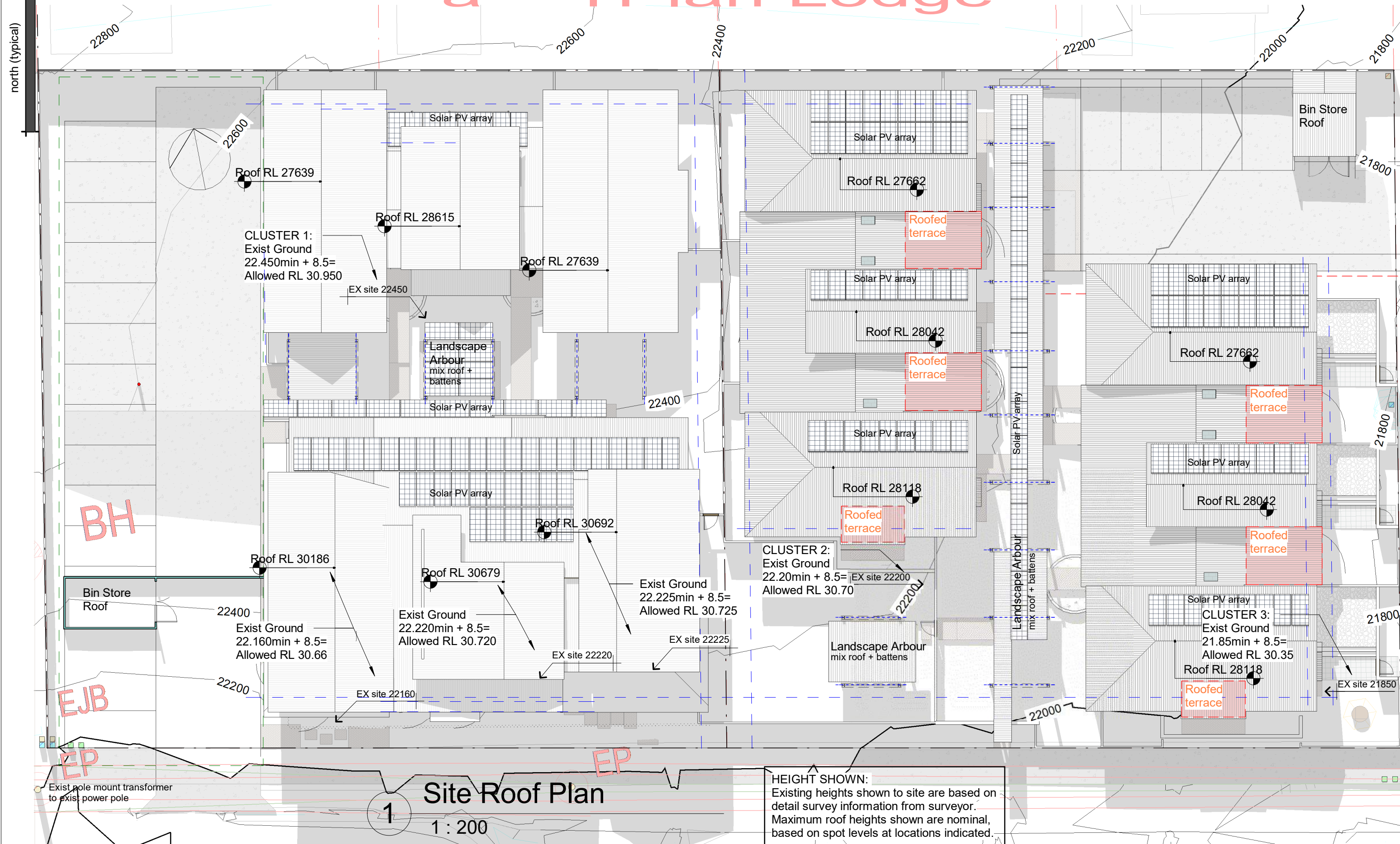
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CLARK ST CHIFF HOUSING



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CHIFF/Core+Cluster

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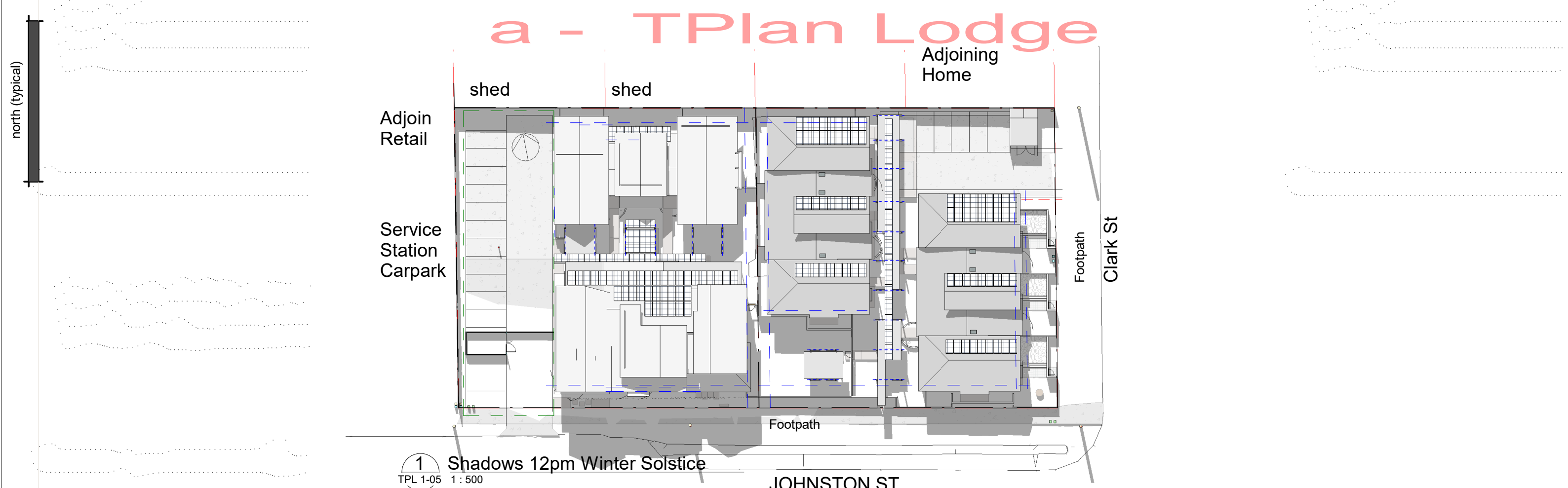
SHEET NAME
Site Plan - Roof

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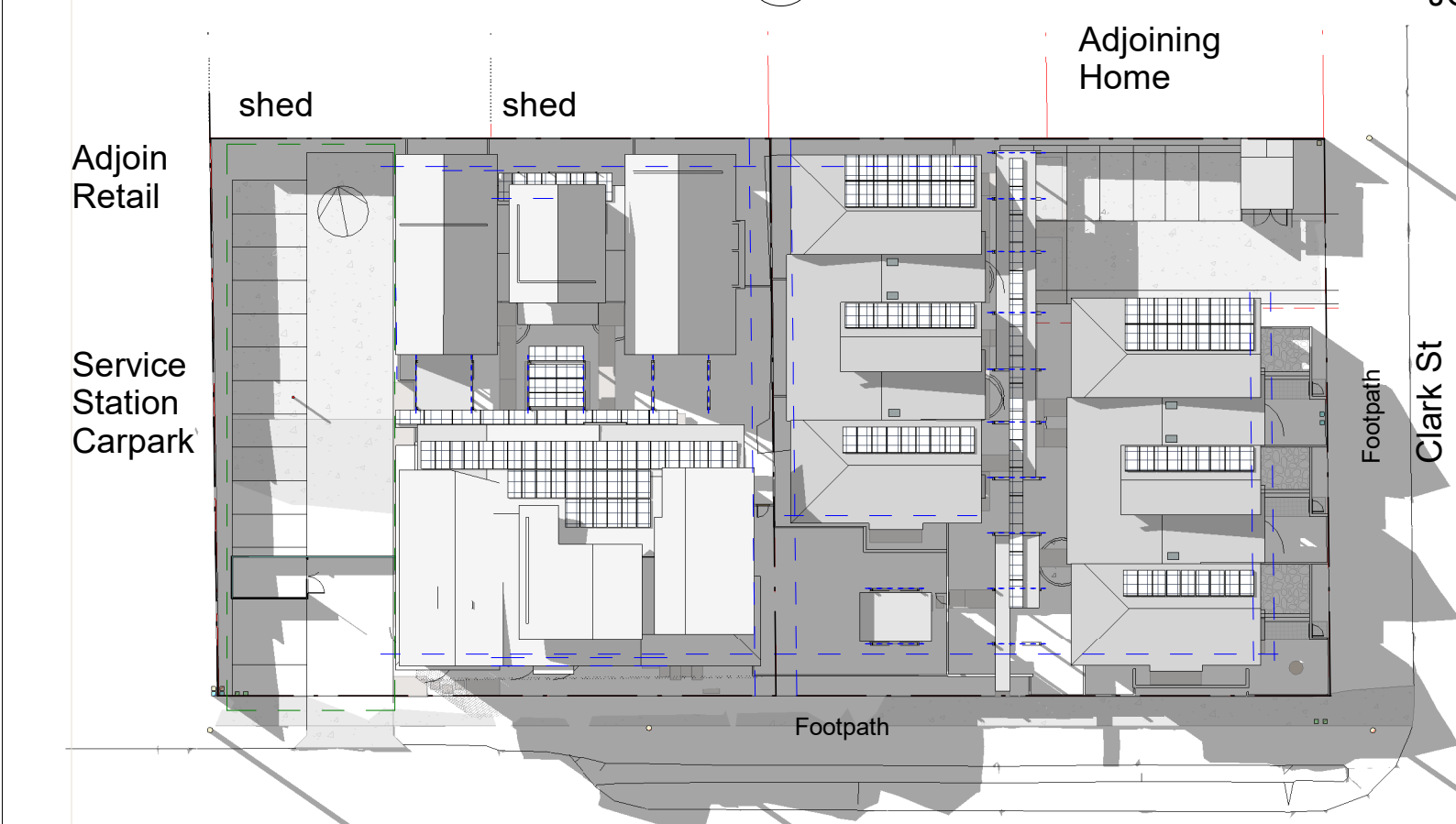
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TPL 1-04
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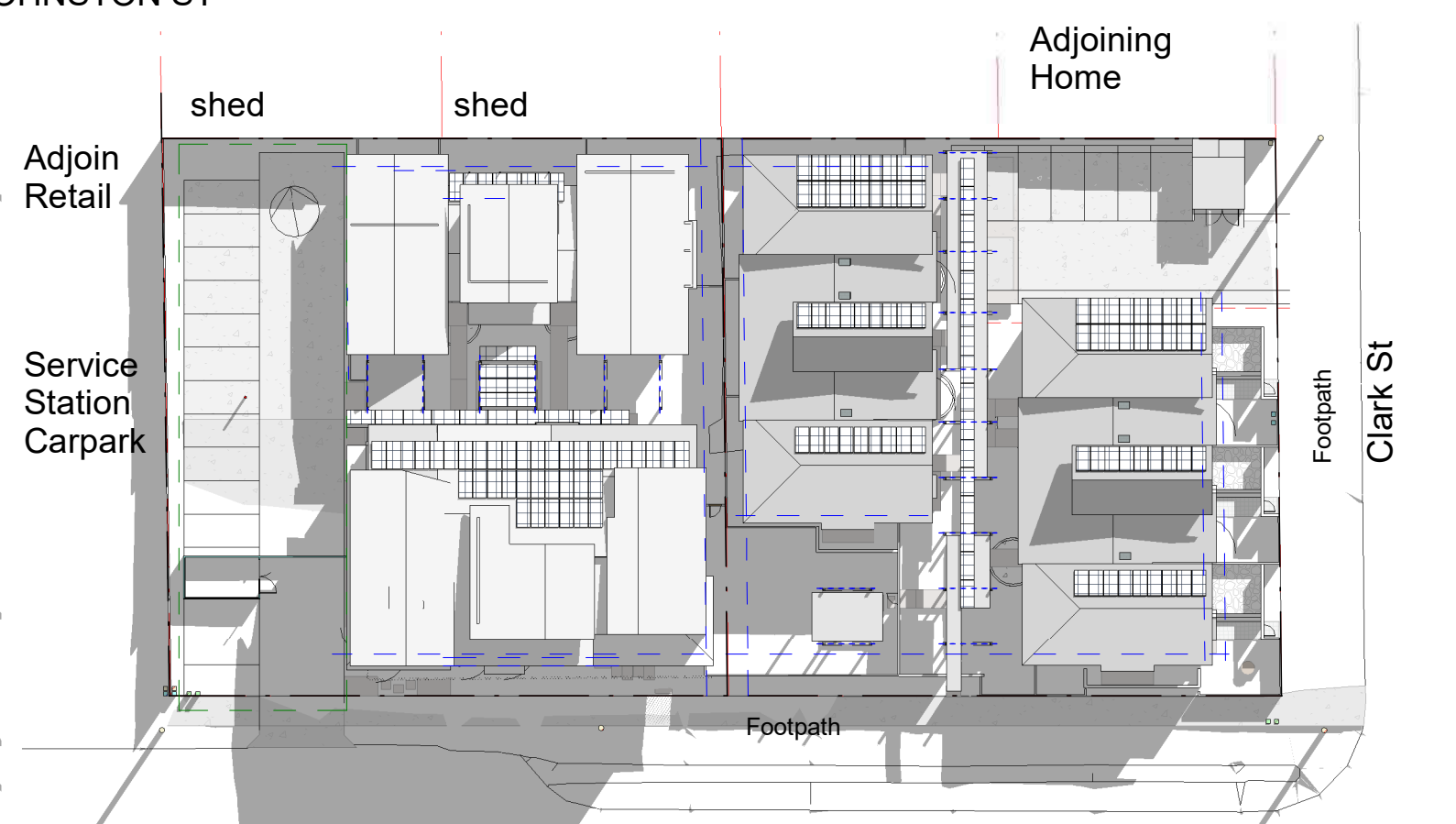
ISSUE



1 Shadows 12pm Winter Solstice
TPL 1-05 1 : 500



2 Shadows 3pm Winter Solstice
TPL 1-05 1 : 500



3 Shadows 9am Winter Solstice
TPL 1-05 1 : 500

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1 Landscape Concept

1 : 100

Detailed landscape design by others to follow.

Comply with

- RSC DCP Design requirements for Landscape AND
 - Low Rise Housing Diversity Design Guide
- Including 50% min quantity of trees, shrubs and bushes to be native through the design.

Johnston St

Revision Schedule			
Description	No	Date	
TPLAN prep 4Dec	P1	4Dec23	
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TPLAN Lodge	A	20Dec23	

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Yard U1

Yard U2

Yard U3

U1 (2bed)

U2 (2bed)

U3 (2bed)

Terrace

Disability access provision to entry (occupant)

Disability access provision to rear doors (visitor)

Disability Accessible Carpark + Shared Driveway Zone

Partial roof over. Maintain height for disabled parking access + driveway clearance.

Services tbc

Bin Enclosure

Roof tbc

FW to sewer tbc (confirm with prelodgement minutes + waste mgt plan)

Driveway

Path

Landscape

Court

permeable surface: gravel, pave + ground covers

steps up

Landscape Steps

Entry

paved entry

Landscape Yard

rolled levels between terrace + fence line

Court

permeable surface: gravel, pave + ground covers

steps up

Landscape Bank

Lscape Bank

Lscape Bank

Clark St alignment

Footpath

2 Part Site Clark Dwy

TP1 1-11 1 : 100

Detailed landscape design by others to follow. Concept indicative of landscape area available and deep planting areas required. Comply with

- RSC DCP Design requirements for Landscape AND
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PROJECT

CHIFF/Core+Cluster

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cnr Johnston St + Clark St CASINO

PROJECT NO.

0197:001-B

SHEET NAME

Lscp Part - Clark St
Dwy Frontage

TPL 1-11


DRAWING NO.

ISSUE

SCALE

1 : 100
10cm

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Part
 1 : 100

- RSC DCP Design requirements for Landscape AND
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PROJECT CHIFF/Core+Cluster

1 : 100
10cm

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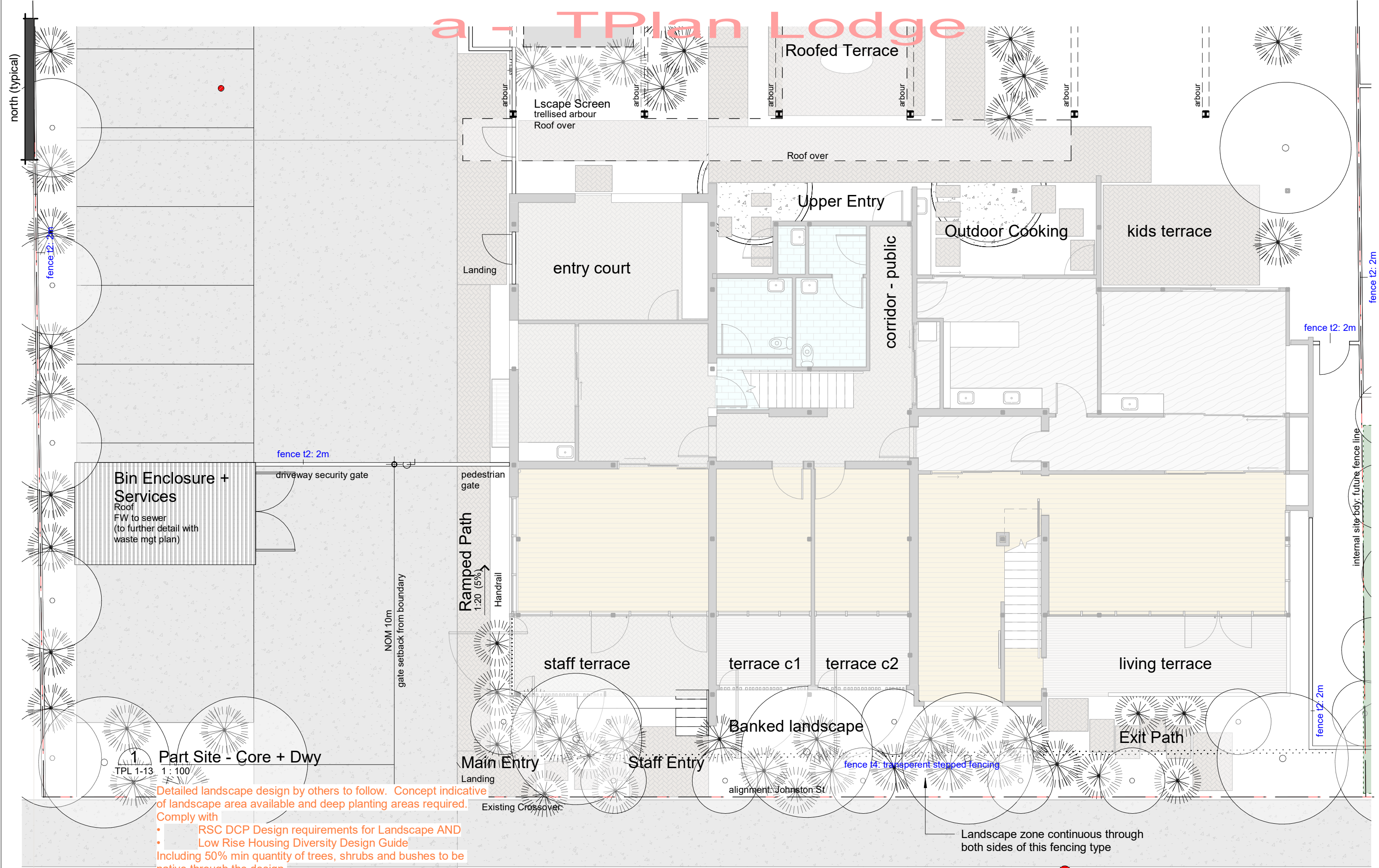
SHEET NAME
 Lscp Part - Clark
 DwY Frontage
 TPL 1-11
 DRAWING NO.

ISSUE

[illegible]

- Design guide: 600mm min landscaped retaining setback

ISSUE



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SCALE

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10cm

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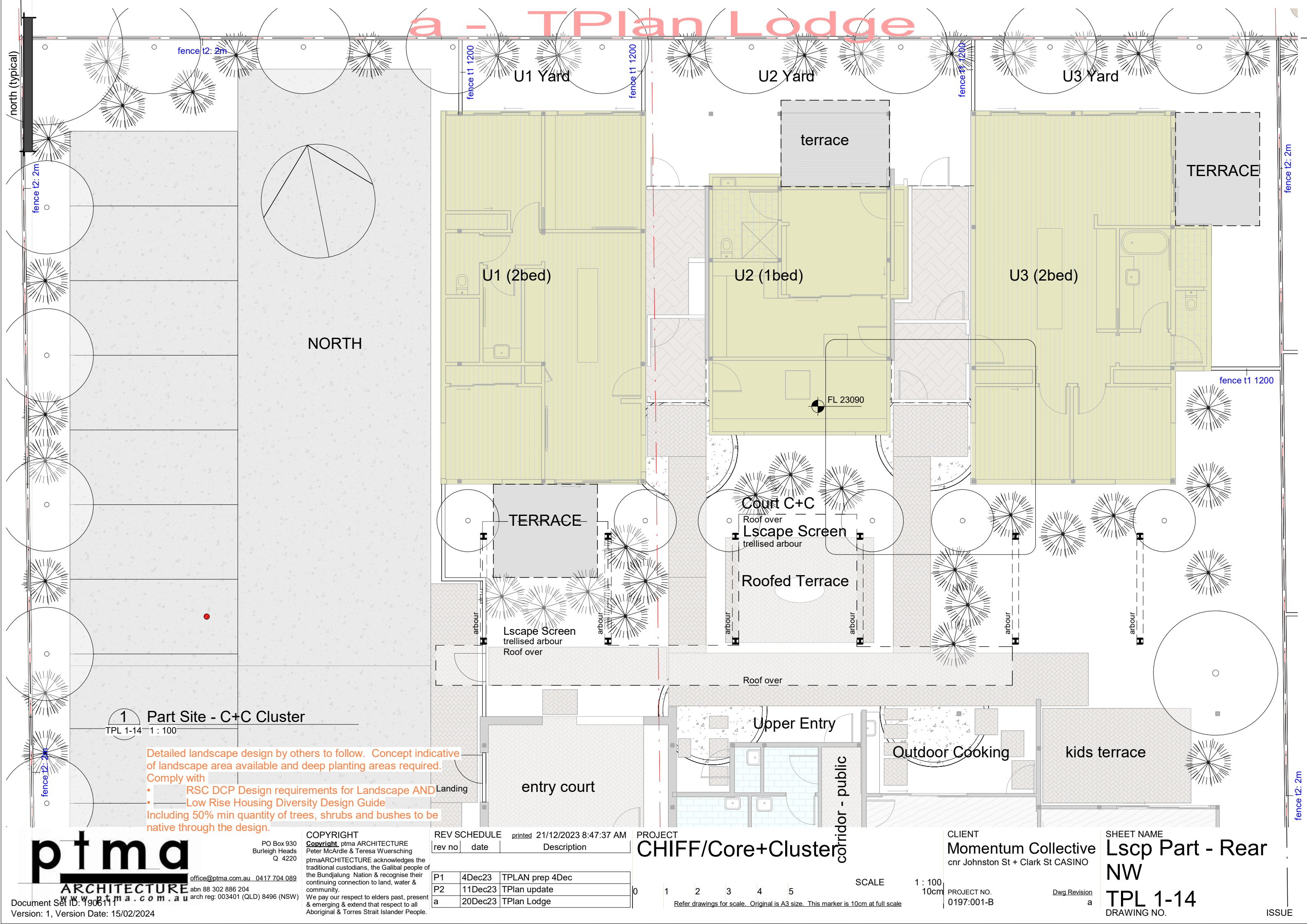
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Lscp Part - Johnston Dwy

TPL 1-13

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ISSUE



1 Part Site - C+C Cluster
TPL 1-14 1 : 100

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SHEET NAME
Lscp Part - Rear NW

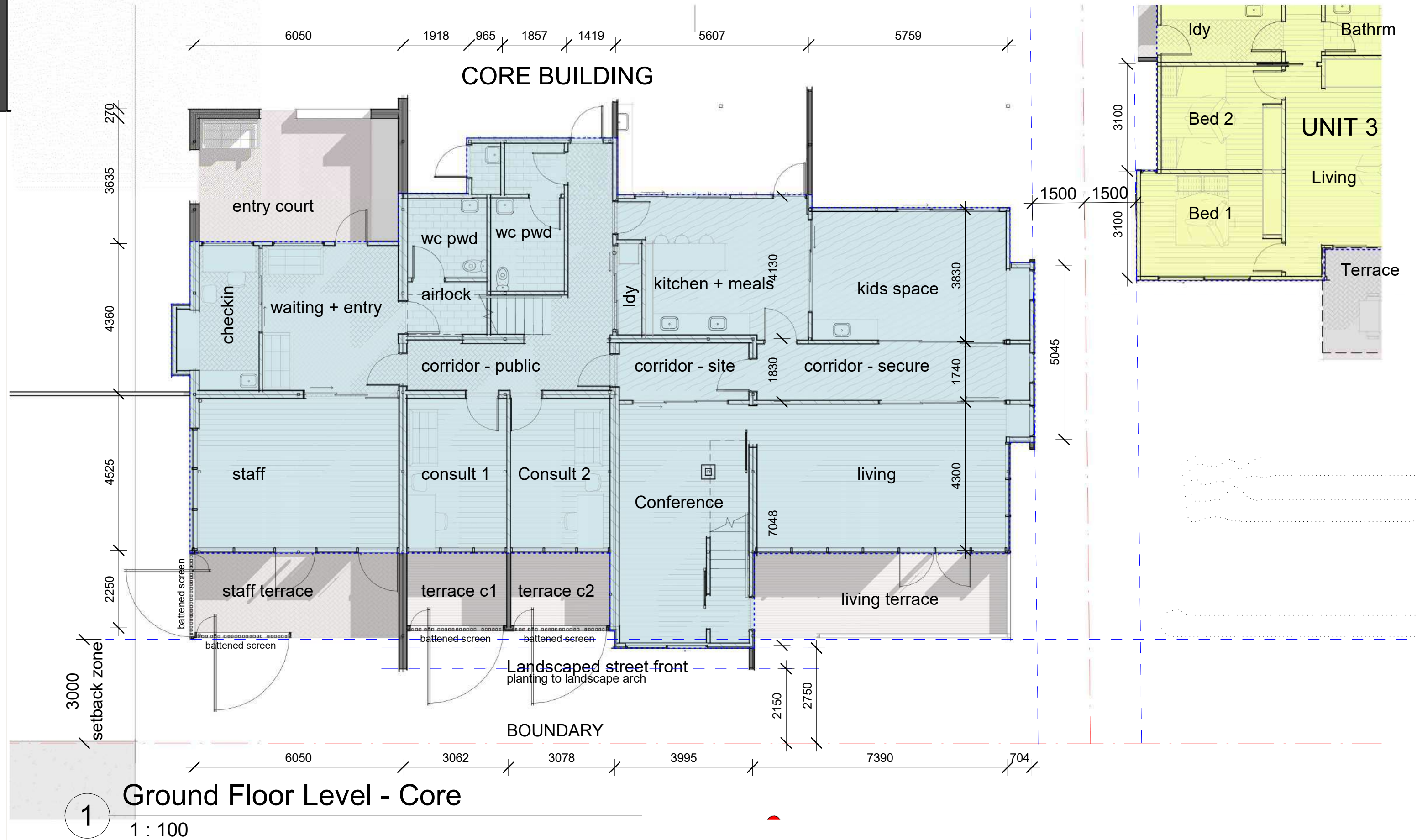
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Ground Floor Level - Core

1

1 : 100

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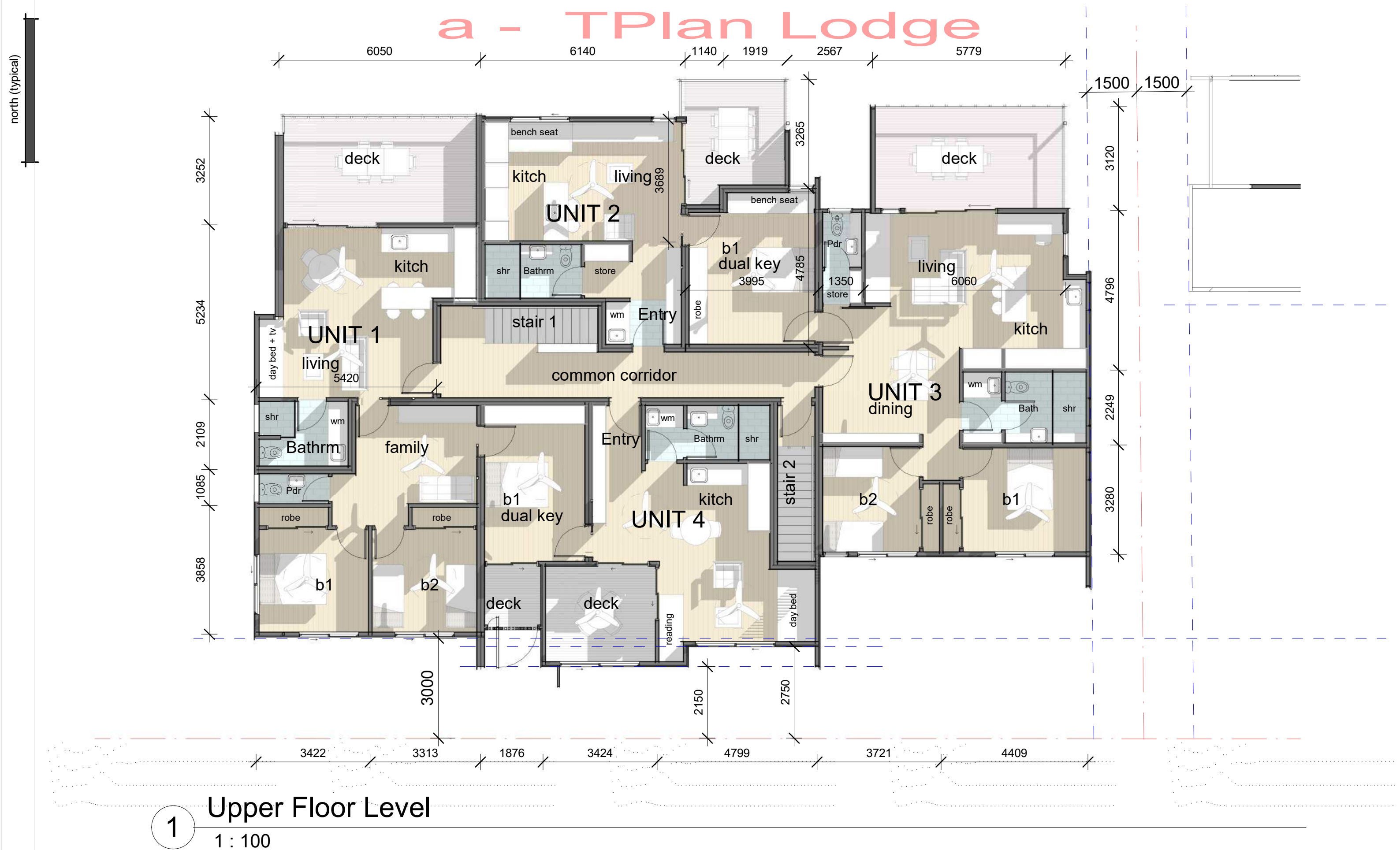
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SHEET NAME

**Building Plans -
CORE GROUND**

TPL 2-01
DRAWING NO.

ISSUE



1

Upper Floor Level

1 : 100

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PROJECT
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10cm

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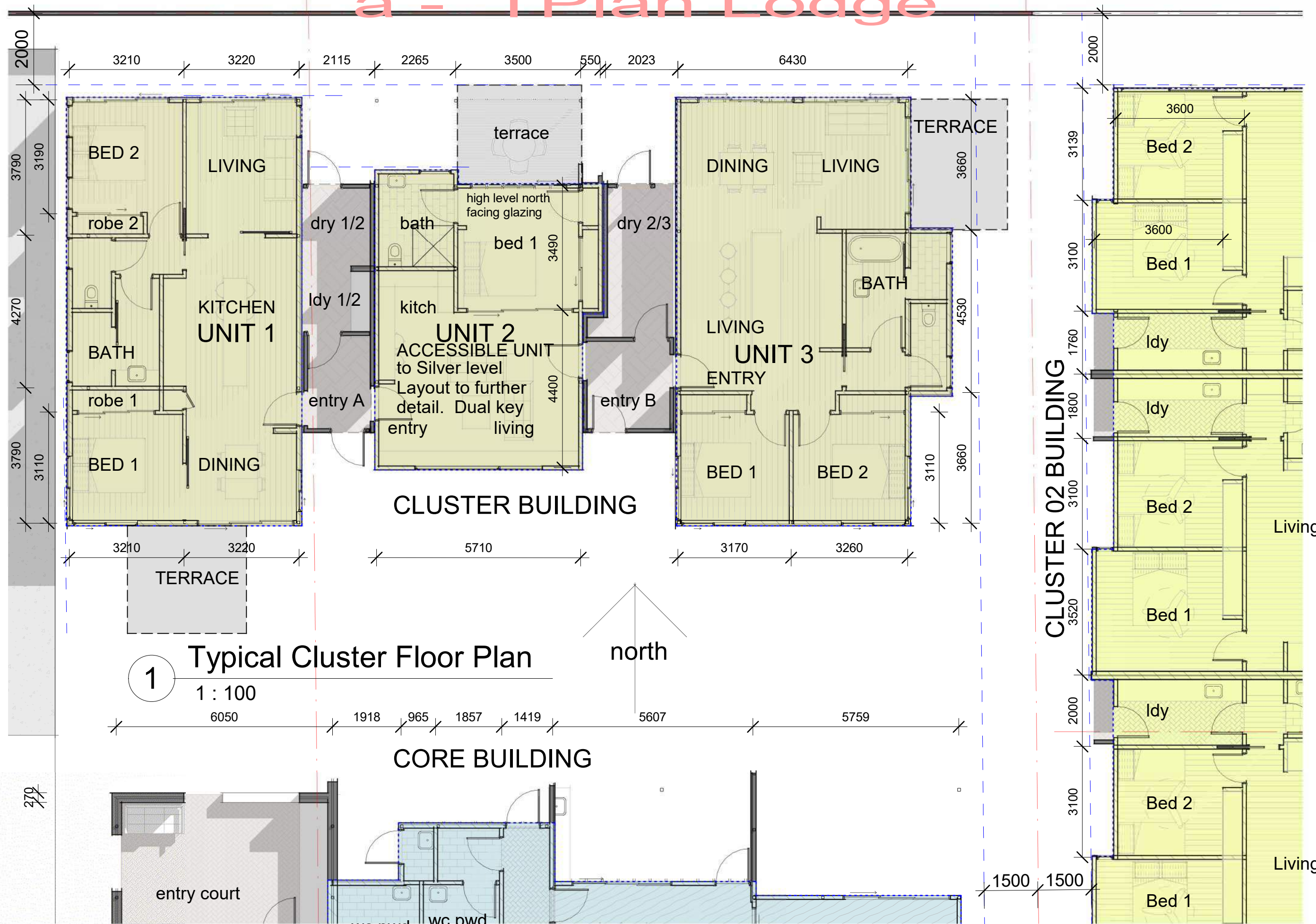
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SHEET NAME
**Building Plans -
CORE UPPER
TPL 2-02**
DRAWING NO.

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PROJECT

CHIFF/Core+Cluster

kitchen + meals kids space

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0 1 2 3 4 5

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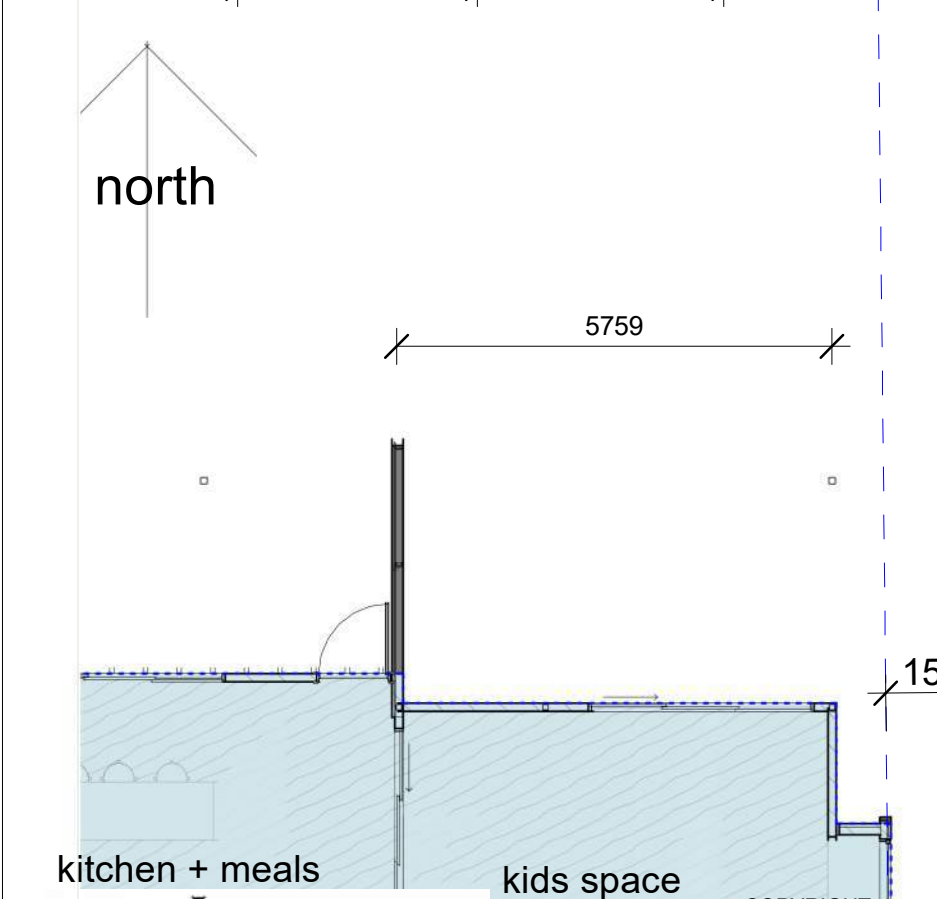
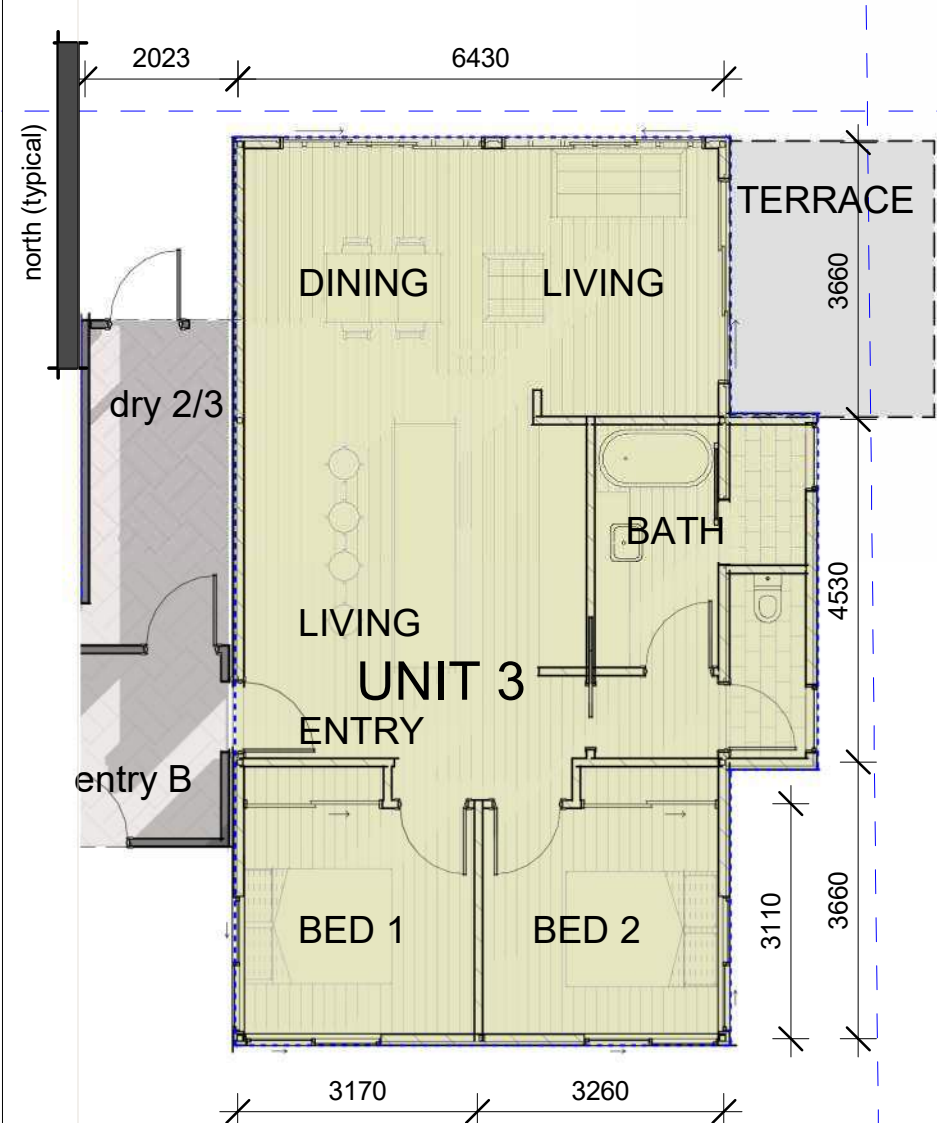
CLUSTER 01

(Core+Cluster)

TPL 2-11

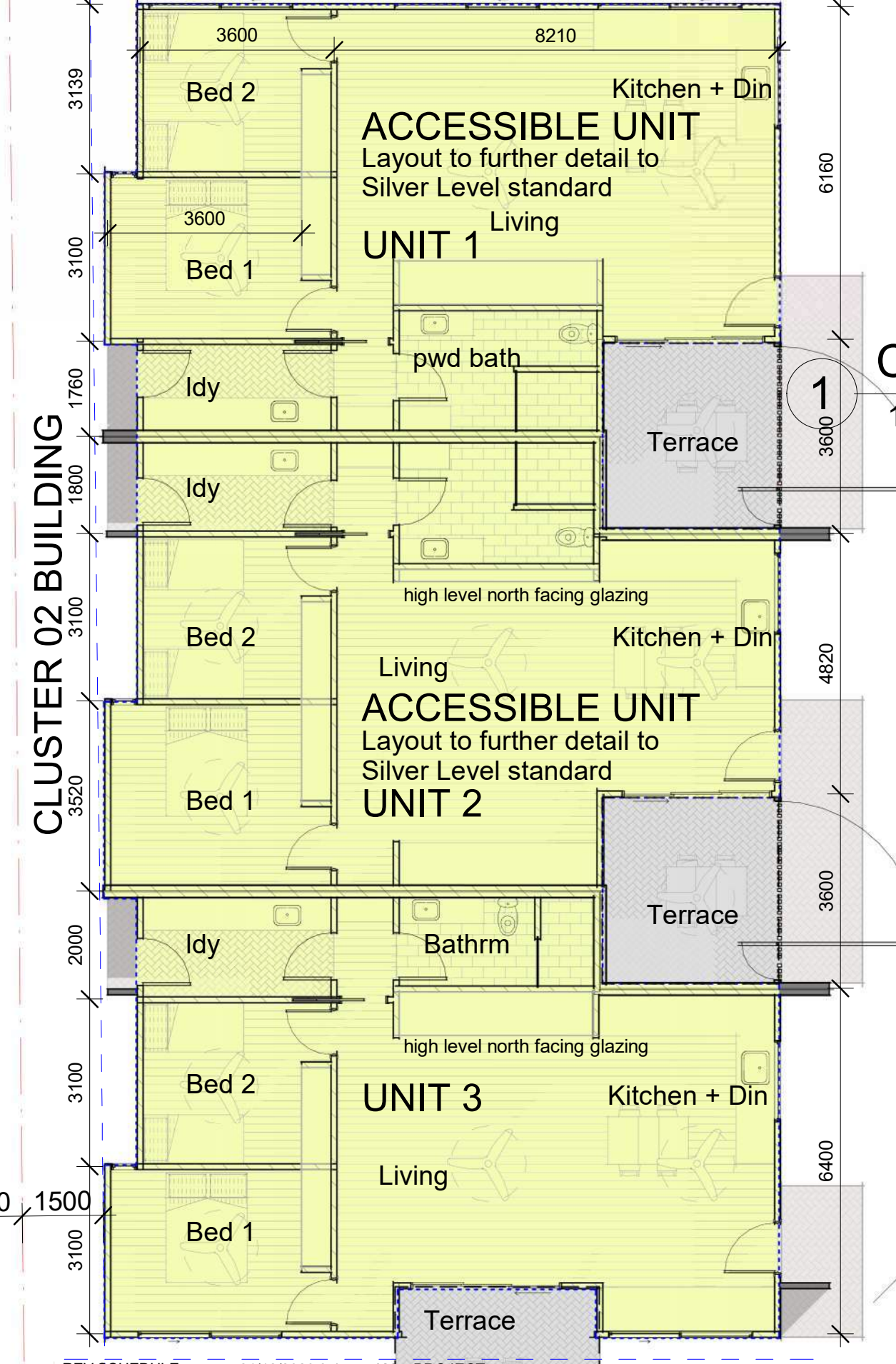
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a - TPlan Lodge



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rev no date Description
P1 4Dec23 TPLAN prep 4Dec
P2 11Dec23 TPlan update
a 20Dec23 TPlan Lodge

CHIFF/Core+Cluster

SCALE 1 : 100 10cm
Refer drawings for scale. Original is A3 size. This marker is 10cm at full scale

Screens to be co-ordinated with screen fencing: Top of screen to be 1.5m from floor to be confirmed on site for final window design where sill <1.5m ht

Cluster Floor Plan - CHIFF

1 : 100

CLUSTER 02 BUILDING

CLUSTER 03

CLUSTER 02 (CHIFF)

TPL 2-21

DRAWING NO.

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Momentum Collective
cnr Johnston St + Clark St CASINO

PROJECT NO.
0197:001-B

SHEET NAME
CLUSTER 02 (CHIFF)

Dwg Revision
a

ISSUE

north (typical)

ACCESSIBLE UNIT

Layout to further detail to Silver Level standard

UNIT 2

high level north facing glazing

UNIT 3 Kitchen + Din

Living

Terrace

north

CLUSTER 03

Bed 2

3600

Bed 1

Idy

Idy

Bed 2

Bed 1

Idy

Bed 2

Bed 1

Living
UNIT 1

pwd bath

UNIT 2

Living

Living
UNIT 3

Kitchen + Din

Kitchen + Din

Kitchen + Din

5500
setback zone for sewer

1.5m articulation zone
allowed forward of
front setback.
(non structural this
zone for sewer).

Entries to Clark St
through front
courtyards.

No structural building footings in zone

Clark St

Min frontage 5m
required to each
dwelling.

Ground Floor - Cluster 03

1 : 100

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rev no	date	Description
P1	4Dec23	TPLAN prep 4Dec
P2	11Dec23	TPlan update
a	20Dec23	TPlan Lodge

CHIFF/Core+Cluster

SCALE

1 : 100
10cm

Momentum Collective
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m	PROJECT NO. 0197:001-B
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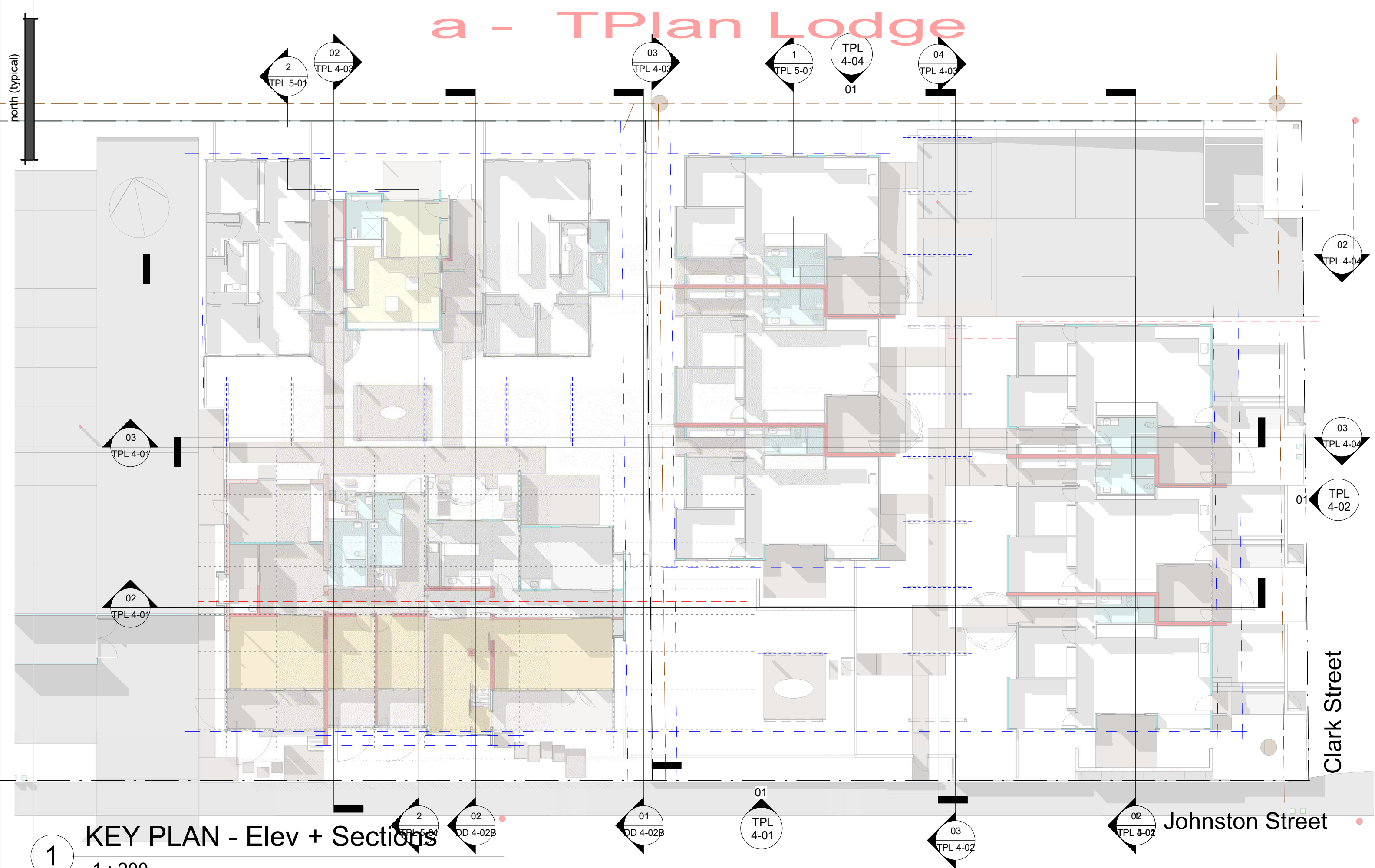
SHEET NAME

CLUSTER 03
(CHIFF) Clark St
TPL 2-22

ISSUE

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KEY PLAN - Elev + Sections

1

1 : 200

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PROJECT

CHIFF/Core+Cluster

SCALE

1 : 200
10cm

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cnr Johnston St + Clark St CASINO

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0197:001-B

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a

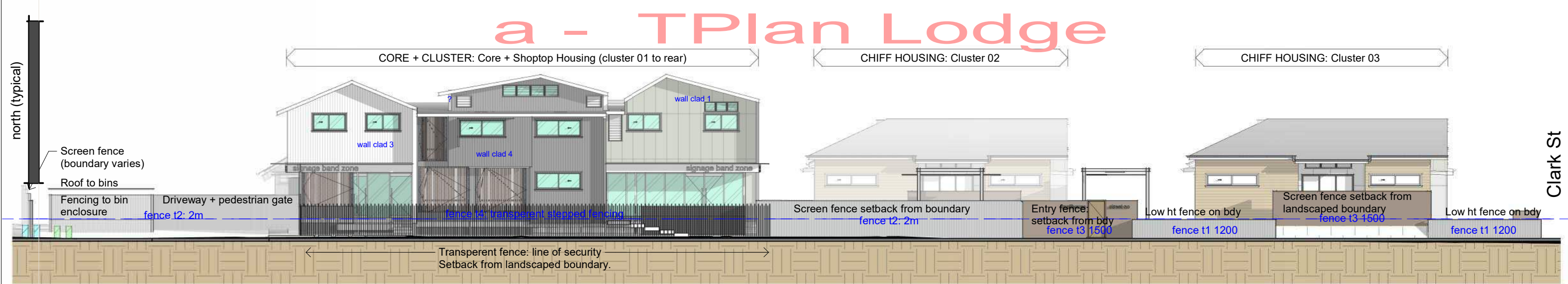
SHEET NAME

KEY Elev+Sect

TPL 4-00
DRAWING NO.

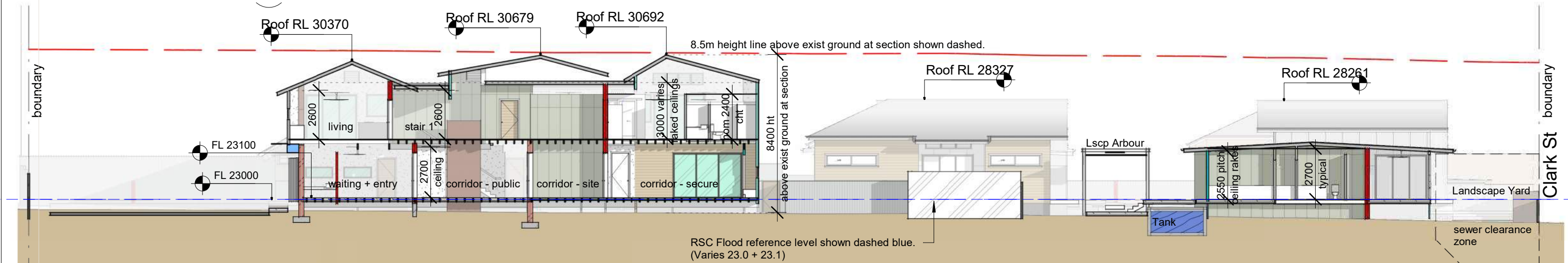
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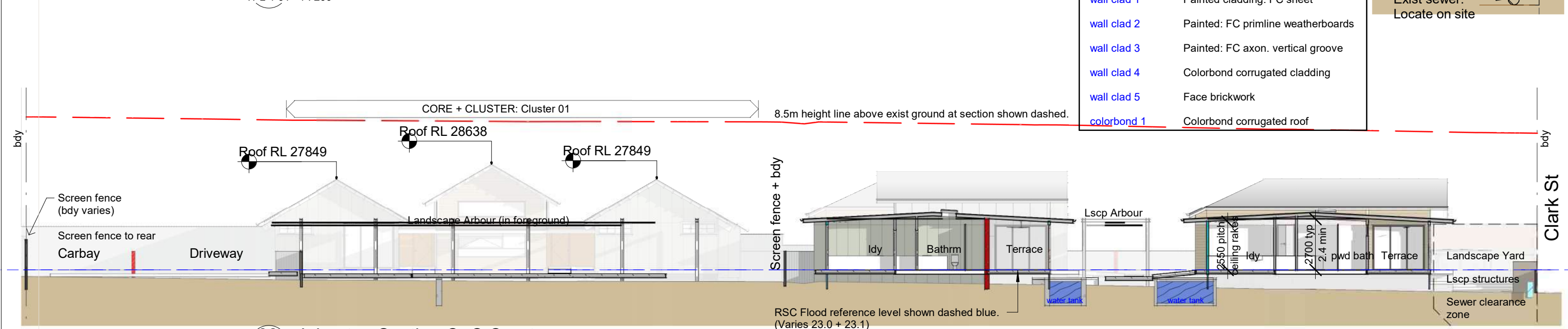
01 Johnston St (South)

TPL 4-01 1: 200



02 Johnston - Section ShopTop

TPL 4-01 1: 200



03 Johnston Section C+C Court

TPL 4-01 1: 200

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PROJECT
CHIFF/Core+Cluster

SCALE As indicated
10cm

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PROJECT NO.
0197:001-B

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SHEET NAME
Site Elev South -
JOHNSTON ST
TPL 4-01
DRAWING NO.

ISSUE

a - TPlan Lodge

EXTERNAL FINISHES LEGEND

wall clad 1	Painted cladding: FC sheet
wall clad 2	Painted: FC primline weatherboards
wall clad 3	Painted: FC axon. vertical groove
wall clad 4	Colorbond corrugated cladding
wall clad 5	Face brickwork
colorbond 1	Colorbond corrugated roof

Johnston Street

Screen fence set in from bdy

boundary

low ht bdy fence

fence t1 1200

Entry fencing stepped from bdy

fence t1 1200

operable scr (spaced battens)

fence t3 1500

operable scr (spaced battens)

fence t1 1200

fence t3 1500

CROSSOVER

Clark Street: dwy gate

Roofed bin enclosure

fence t2: 2m

boundary

sewer mh alignment

01 Clark St Frontage (East)

TPL 4-02 1:200

Johnston Street

Screen fence set in from bdy

boundary

Roof RL 28327

Roof RL 28261

Roof RL 27872

4000 pitch to suit budget
North sun to living
Living
2700 living
2.4 min wc
Bathrm

3600 pitch to suit budget
North sun to living
Living
powd bath

3200 pitch to suit budget
Living
6400 approx ht
ground level varies

Driveway
Carbay

Approx alignment of sewer in adjoining property.

boundary

RSC Flood reference level shown dashed blue.
(Varies 23.0 + 23.1)

02 Clark Section CHIFF homes

TPL 4-02 1:200

Johnston Street

boundary

CORE + CLUSTER
Shop top housing to rear

Landscape arbour in foreground

Screen fencing varies.

wall clad 2

wall clad 1b

wall clad 2

CHIFF HOUSING: Cluster 03 (core+cluster cluster 01 to rear)

boundary

FL 23000

Sewer in adjoining property.
Location + depth to be confirmed.

03 Clark Section CHIFF Court

TPL 4-02 1:200

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PROJECT

CHIFF/Core+Cluster

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cnr Johnston St + Clark St CASINO

SHEET NAME

Site Elevation East
CLARK ST

TPL 4-02
DRAWING NO.

ISSUE

SCALE As indicated

10cm

PROJECT NO.

0197:001-B

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a - TPlan Lodge

EXTERNAL FINISHES LEGEND

wall clad 1	Painted cladding: FC sheet
wall clad 2	Painted: FC primline weatherboards
wall clad 3	Painted: FC axon. vertical groove
wall clad 4	Colorbond corrugated cladding
wall clad 5	Face brickwork
colorbond 1	Colorbond corrugated roof

north (typical)

CORE + CLUSTER: Cluster 01

CORE + CLUSTER: Core + Shoptop Housing

Johnston Street

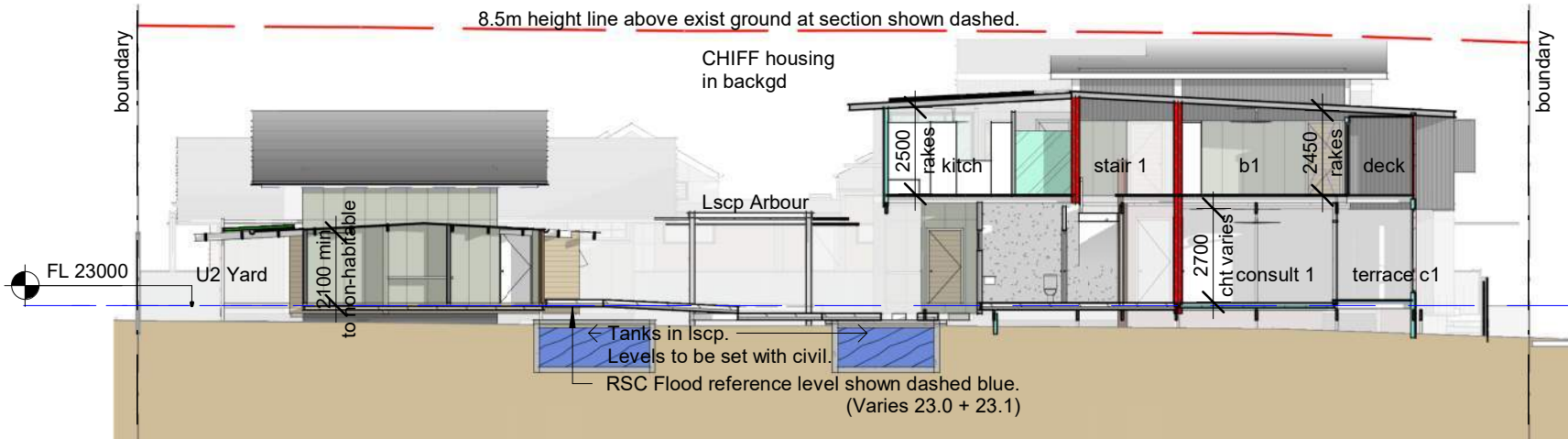


01 Service Station (West)

TPL 4-03 1: 200

8.5m height line above exist ground at section shown dashed.

CHIFF housing in backgd



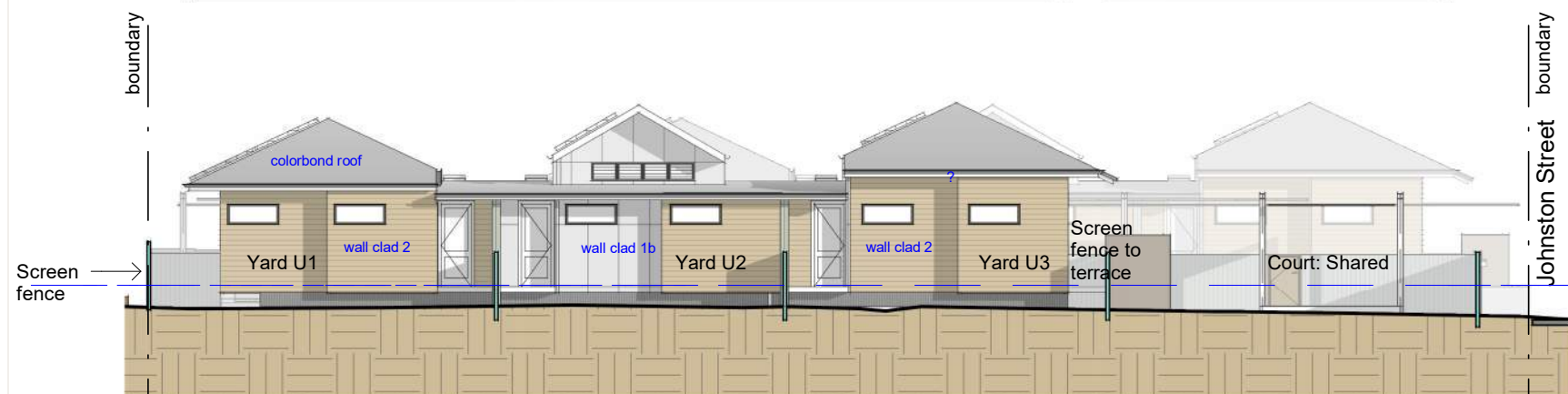
Johnston Street

02 West Section Core+Cluster

TPL 4-03 1: 200

CHIFF HOUSING: Cluster 02

CHIFF HOUSING: Cluster 03 at rear



03 West CHIFF Cluster 02

TPL 4-03 1: 200

04 West CHIFF Cluster 03

TPL 4-03 1: 200

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PROJECT

CHIFF/Core+Cluster

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cnr Johnston St + Clark St CASINO

SHEET NAME

Site Elevation East
SERVICE STN

TPL 4-03

DRAWING NO.

ISSUE

SCALE As indicated
10cm

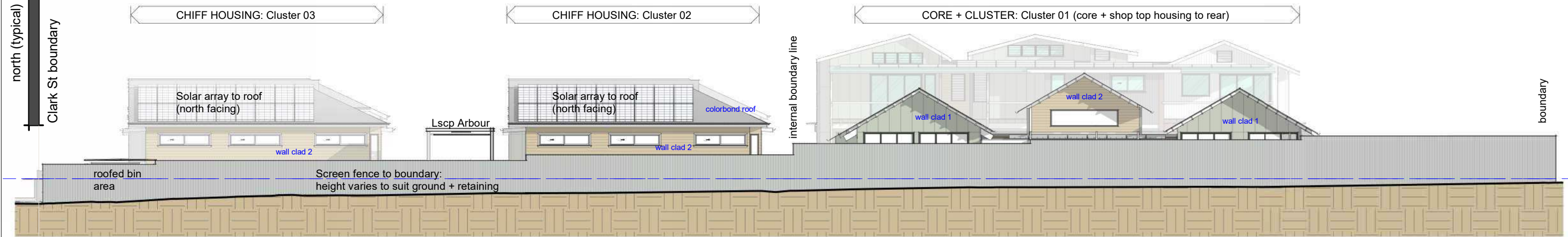
Refer drawings for scale. Original is A3 size. This marker is 10cm at full scale

PROJECT NO.
0197:001-B

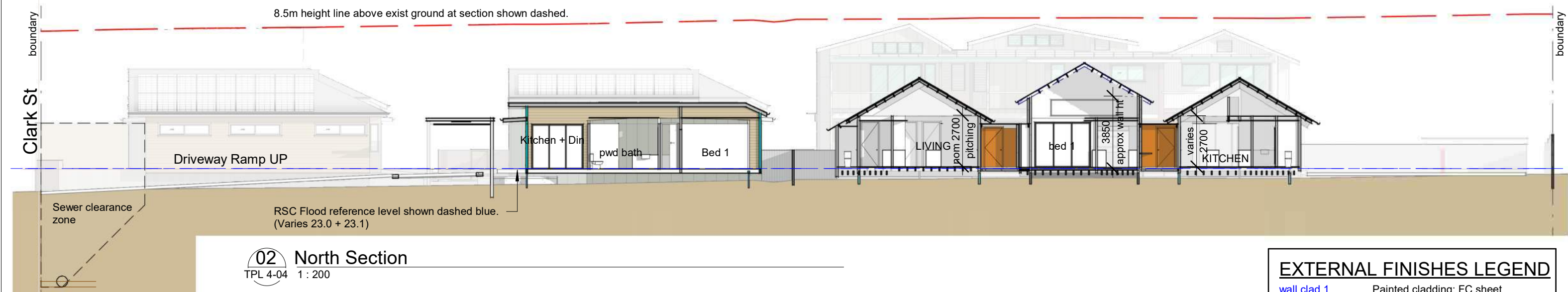
Dwg Revision
a

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Version: 1, Version Date: 15/02/2024

a - TPlan Lodge



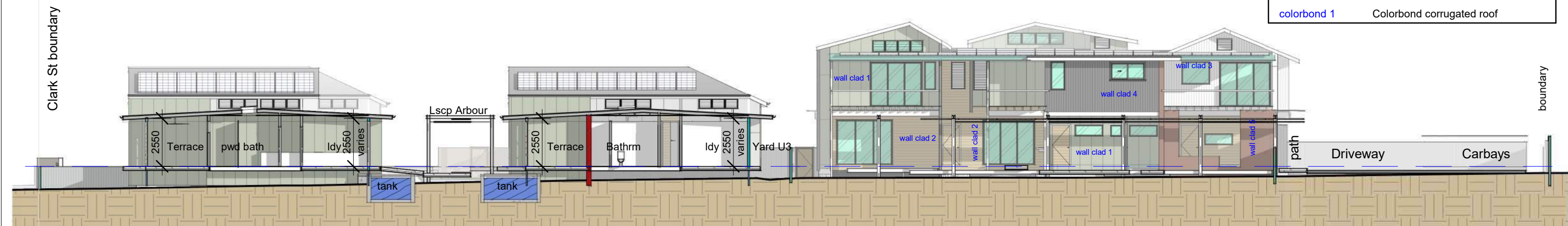
01 Side Boundary (North Elev)
TPL 4-04 1 : 200



02 North Section
TPL 4-04 1 : 200

EXTERNAL FINISHES LEGEND

wall clad 1	Painted cladding: FC sheet
wall clad 2	Painted: FC primline weatherboards
wall clad 3	Painted: FC axon. vertical groove
wall clad 4	Colorbond corrugated cladding
wall clad 5	Face brickwork
colorbond 1	Colorbond corrugated roof



03 North Sect - ShopTop Elev
TPL 4-04 1 : 200

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CHIFF/Core+Cluster

1 2 3 4 5
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SCALE As indicated
10cm

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cnr Johnston St + Clark St CASINO

PROJECT NO.
0197:001-B

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SHEET NAME
Site Elevation - NORTH
TPL 4-04
DRAWING NO.

ISSUE

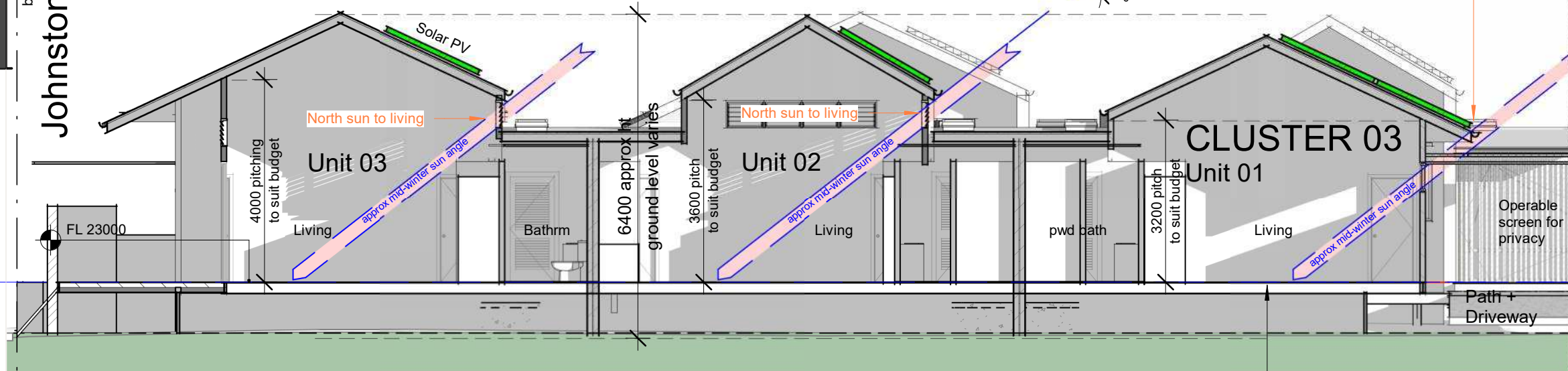
a - TPlan Lodge

north (typical)

Johnston St

NORTH

8.5m height line above exist ground at section shown dashed.



step in section: refer key plan

CLUSTER 02
Unit 01

boundary

boundary

boundary

boundary

boundary

boundary

boundary

boundary

boundary

boundary

boundary

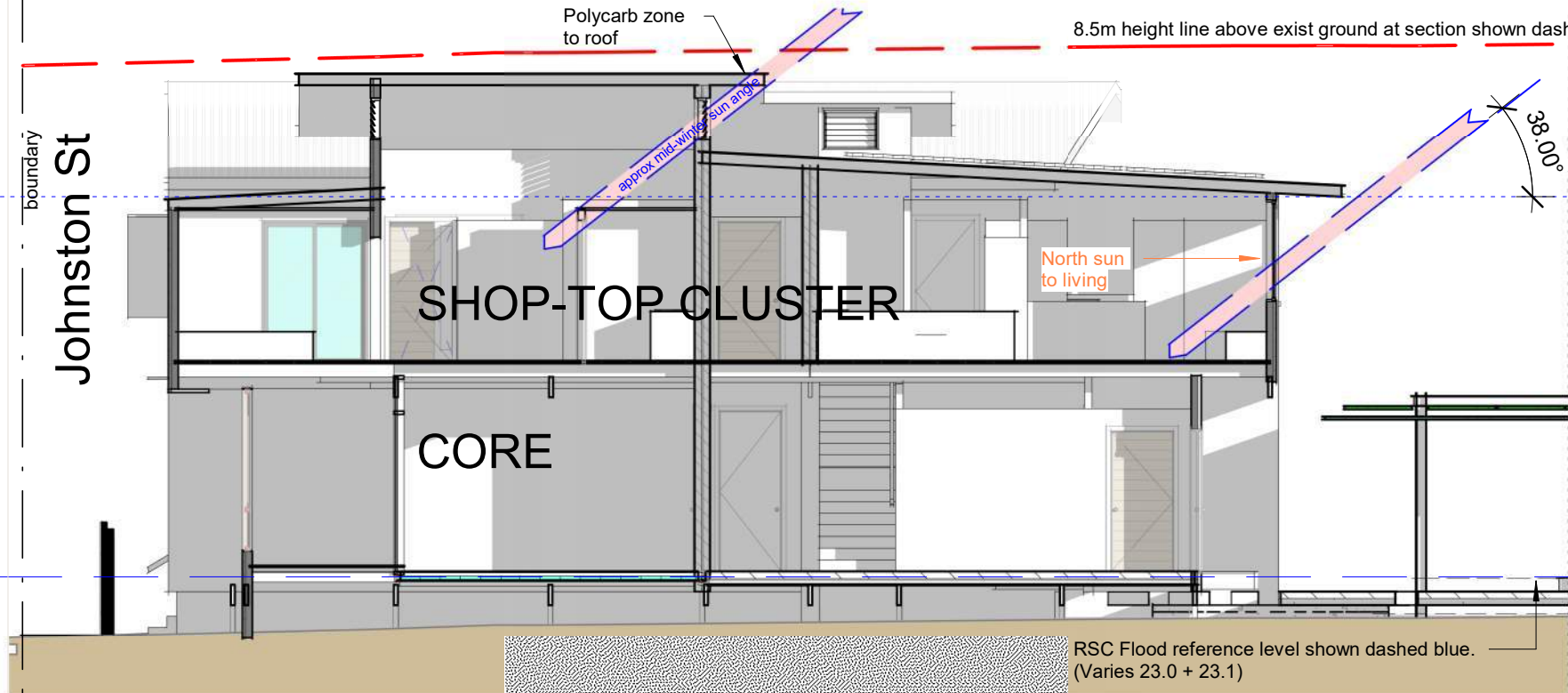
boundary

1 Northern Solar Access - CHIFF Homes
TPL 5-01 1 : 100

RSC Flood reference level shown dashed blue.
(Varies 23.0 + 23.1)

Polycarb zone
to roof

8.5m height line above exist ground at section shown dashed.

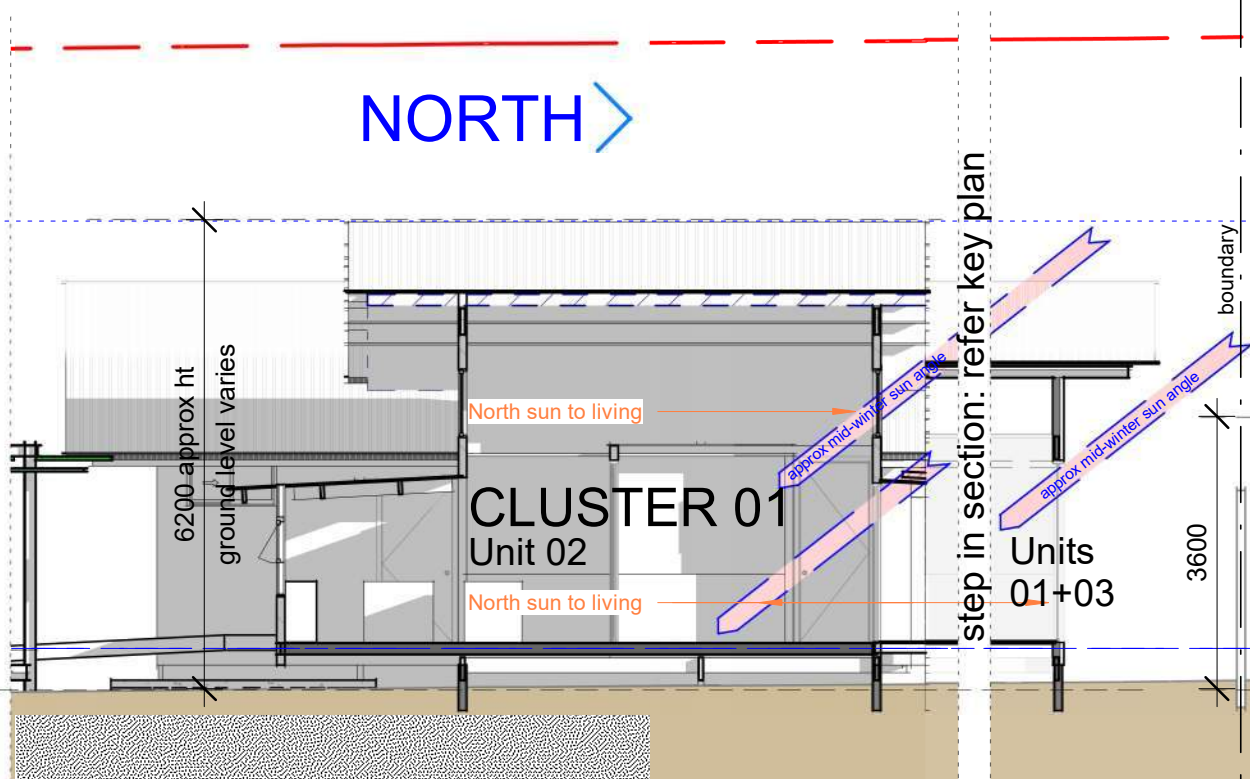


step in section: refer key plan

NORTH

2 Northern Solar Access - Core + Cluster Homes
TPL 5-01 1 : 100

RSC Flood reference level shown dashed blue.
(Varies 23.0 + 23.1)



step in section: refer key plan

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PROJECT
CHIFF/Core+Cluster

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SHEET NAME
Detail - North Bdy
(solar access)

TPL 5-01
DRAWING NO.

ISSUE

SCALE

1 : 100
10cm

PROJECT NO.
0197:001-B

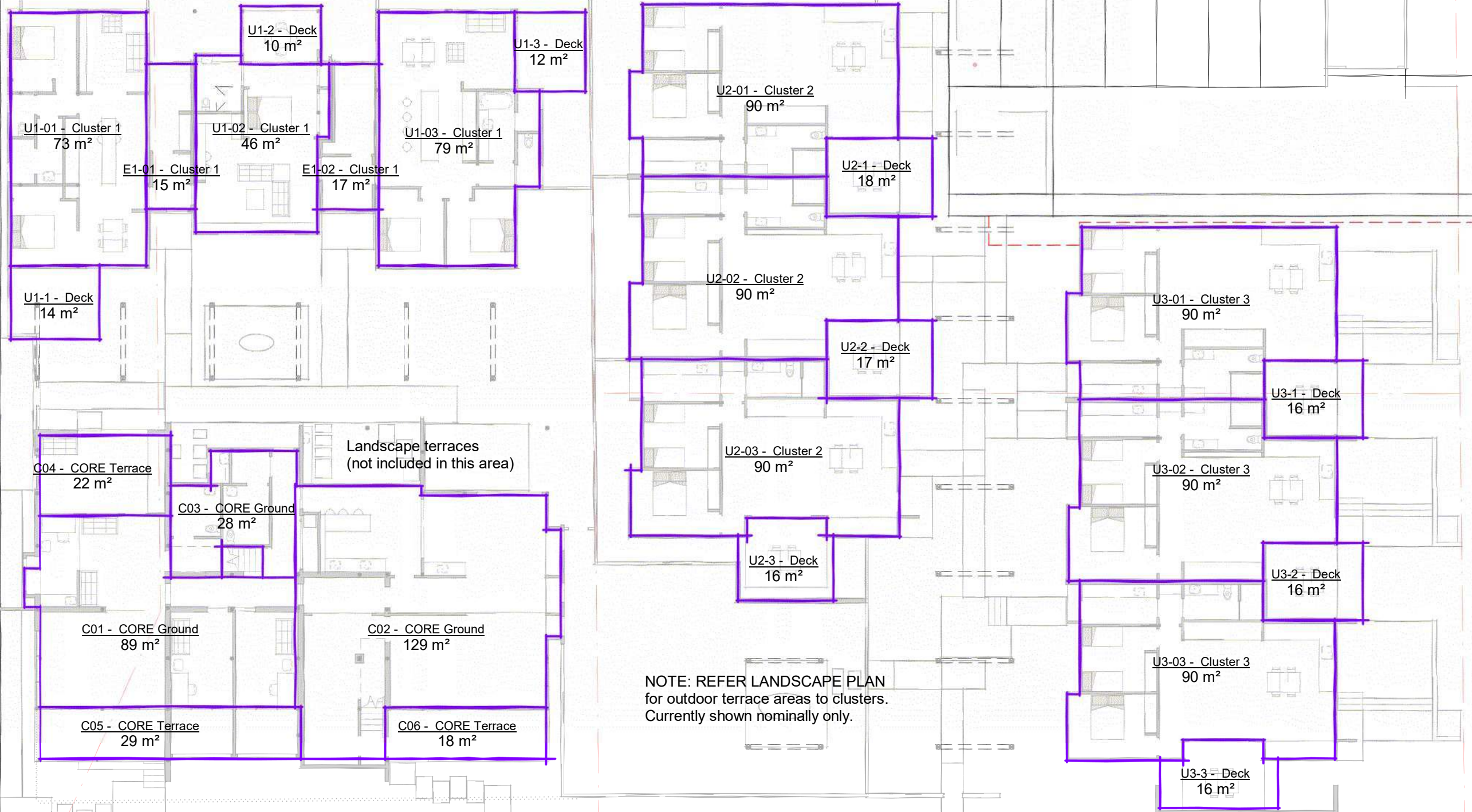
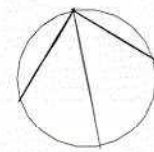
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a - TPlan Lodge

north (typical)



Site Cover (Ext Wall Line)

1

1 : 200

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PROJECT
CHIFF/Core+Cluster

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SCALE

1 : 200
10cm

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SHEET NAME
**SITE AREA Plan -
GROUND**
TPL 9-01
DRAWING NO.

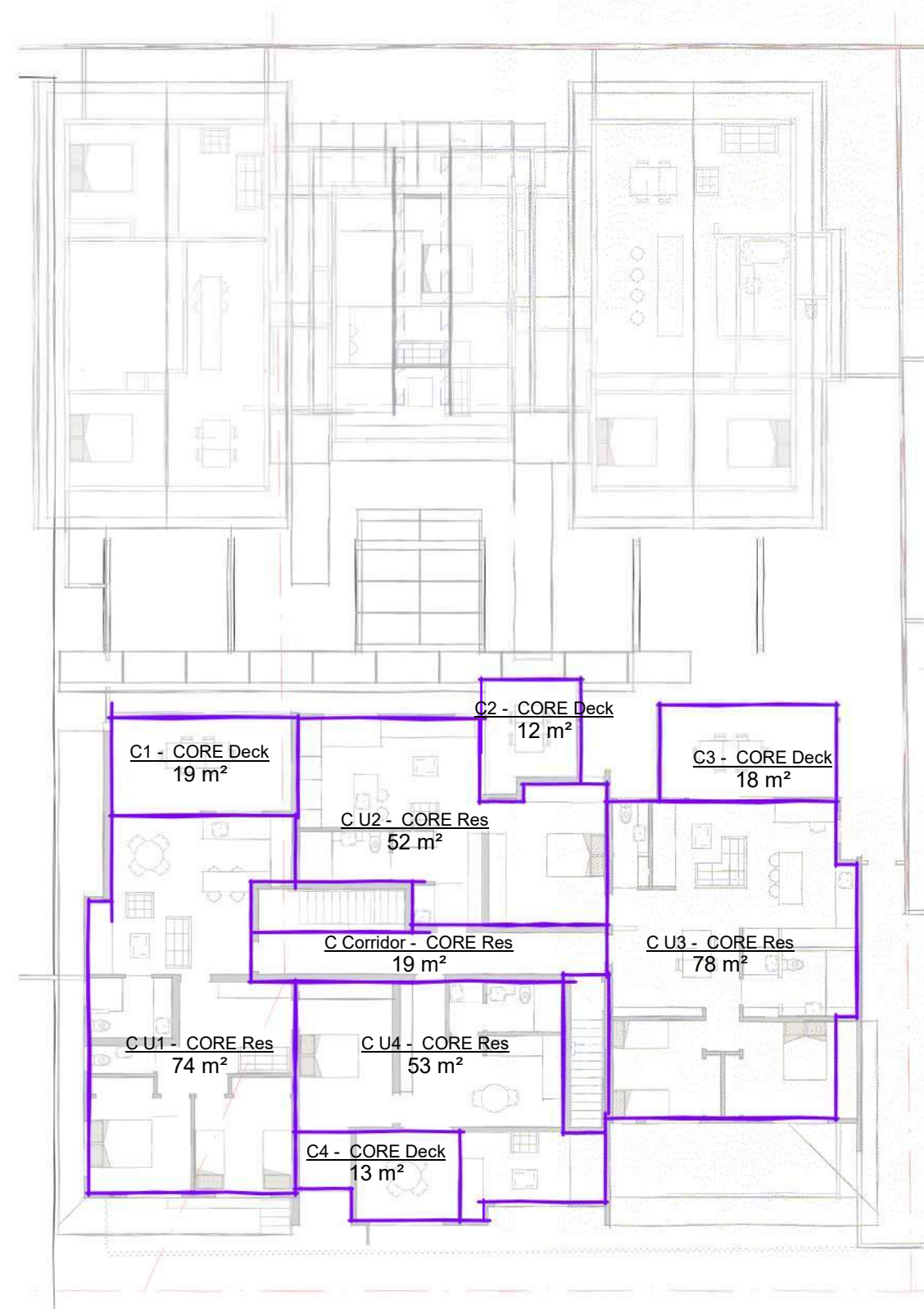
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north (typical)

a - TPlan Lodge

Area Schedule (Gross Building)				
Level	No	Name	Area Type	Area
Ground Floor	U1-01	Cluster 1	Gross Building Area	73 m ²
Ground Floor	U1-02	Cluster 1	Gross Building Area	46 m ²
Ground Floor	U1-03	Cluster 1	Gross Building Area	79 m ²
Cluster 1				198 m ²
Ground Floor	U2-01	Cluster 2	Gross Building Area	90 m ²
Ground Floor	U2-02	Cluster 2	Gross Building Area	90 m ²
Ground Floor	U2-03	Cluster 2	Gross Building Area	90 m ²
Cluster 2				269 m ²
Ground Floor	U3-01	Cluster 3	Gross Building Area	90 m ²
Ground Floor	U3-02	Cluster 3	Gross Building Area	90 m ²
Ground Floor	U3-03	Cluster 3	Gross Building Area	90 m ²
Cluster 3				270 m ²
Ground Floor	C01	CORE Ground	Gross Building Area	89 m ²
Ground Floor	C02	CORE Ground	Gross Building Area	129 m ²
Ground Floor	C03	CORE Ground	Gross Building Area	28 m ²
CORE Ground				245 m ²
Upper Floor	C Corridor	CORE Res	Gross Building Area	19 m ²
Upper Floor	C U1	CORE Res	Gross Building Area	74 m ²
Upper Floor	C U2	CORE Res	Gross Building Area	52 m ²
Upper Floor	C U3	CORE Res	Gross Building Area	78 m ²
Upper Floor	C U4	CORE Res	Gross Building Area	53 m ²
CORE Res				277 m ²
Gross Building Area				1260 m ²

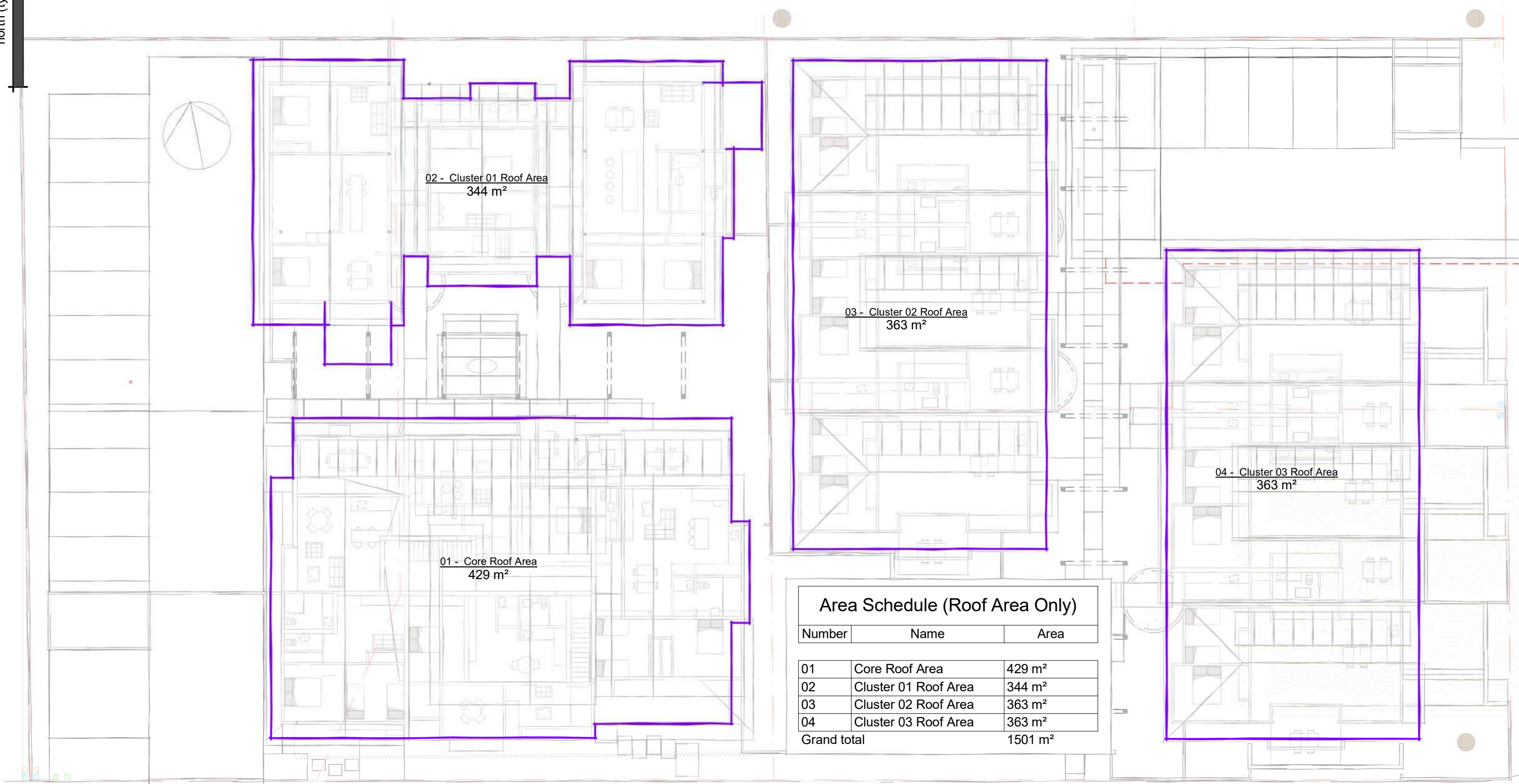
Area Schedule (Gross Building)				
Level	No	Name	Area Type	Area
Ground Floor	E1-01	Cluster 1	Exterior Area	15 m ²
Ground Floor	E1-02	Cluster 1	Exterior Area	17 m ²
Cluster 1				33 m ²
Upper Floor	C1	CORE Deck	Exterior Area	19 m ²
Upper Floor	C2	CORE Deck	Exterior Area	12 m ²
Upper Floor	C3	CORE Deck	Exterior Area	18 m ²
Upper Floor	C4	CORE Deck	Exterior Area	13 m ²
CORE Deck				62 m ²
Ground Floor	C04	CORE Terrace	Exterior Area	22 m ²
Ground Floor	C05	CORE Terrace	Exterior Area	29 m ²
Ground Floor	C06	CORE Terrace	Exterior Area	18 m ²
CORE Terrace				69 m ²
Ground Floor	U1-1	Deck	Exterior Area	14 m ²
Ground Floor	U1-2	Deck	Exterior Area	10 m ²
Ground Floor	U1-3	Deck	Exterior Area	12 m ²
Ground Floor	U2-1	Deck	Exterior Area	18 m ²
Ground Floor	U2-2	Deck	Exterior Area	17 m ²
Ground Floor	U2-3	Deck	Exterior Area	16 m ²
Ground Floor	U3-1	Deck	Exterior Area	16 m ²
Ground Floor	U3-2	Deck	Exterior Area	16 m ²
Ground Floor	U3-3	Deck	Exterior Area	16 m ²
Deck				135 m ²
Exterior Area				300 m ²



2 Upper Floor
1 : 200

a - TPlan Lodge

north (typical)



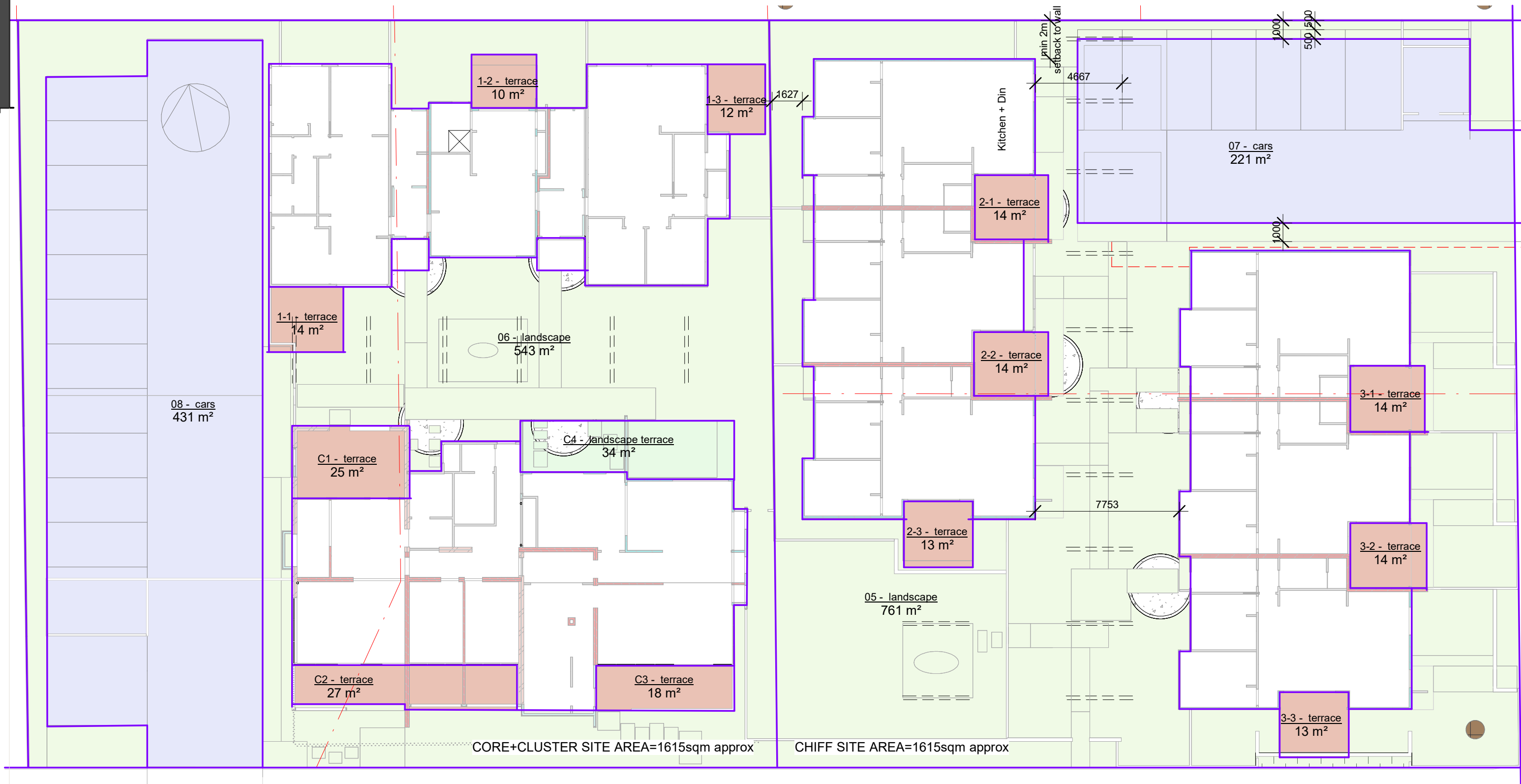
Area Schedule (Roof Area Only)		
Number	Name	Area
01	Core Roof Area	429 m²
02	Cluster 01 Roof Area	344 m²
03	Cluster 02 Roof Area	363 m²
04	Cluster 03 Roof Area	363 m²
Grand total		1501 m²

1 Roof Area Plan
1 : 200

NOTE TERRACES BEING FINALISED.
Roofed terraces to each dwelling included nominally (location being finalised)
External common shade structures not yet included in roof area calculations. Spill to landscape.

a - TPlan Lodge

north (typical)



1

LANDSCAPE areas

1 : 200

Refer Landscape Site Plan for Deep Soil Planting Areas

SITE AREA FROM TITLE: 3230.1ssqm.

Landscape Area = 543 + 761 = 1281sqm approx
Landscape Area = 1304/3230.1 = 40% approx
Includes common paved areas in landscape.

(excluding landscape terrace, private terraces and driveways).

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PROJECT

CHIFF/Core+Cluster

SCALE

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10cm

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CLIENT

Momentum Collective
cnr Johnston St + Clark St CASINO

PROJECT NO.
0197:001-B

Dwg Revision
a

SHEET NAME

SITE AREA Plan -
Landscape

TPL 9-04

DRAWING NO.

ISSUE

a - TPLan Lodge



Existing Commercial Tenancies

Existing Service Station

Existing Neighbouring House

Existing Neighbouring House

Existing Neighbouring House

Existing Neighbouring House (small lot)

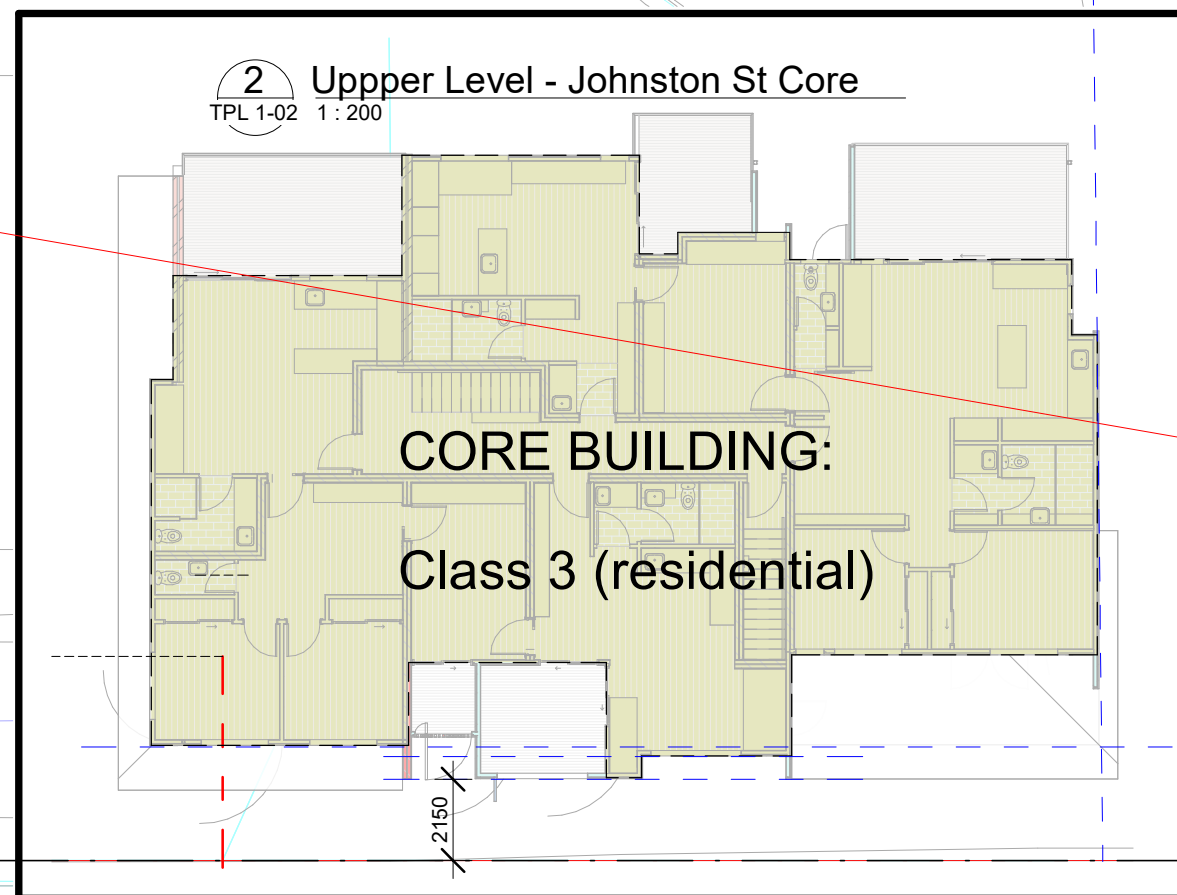
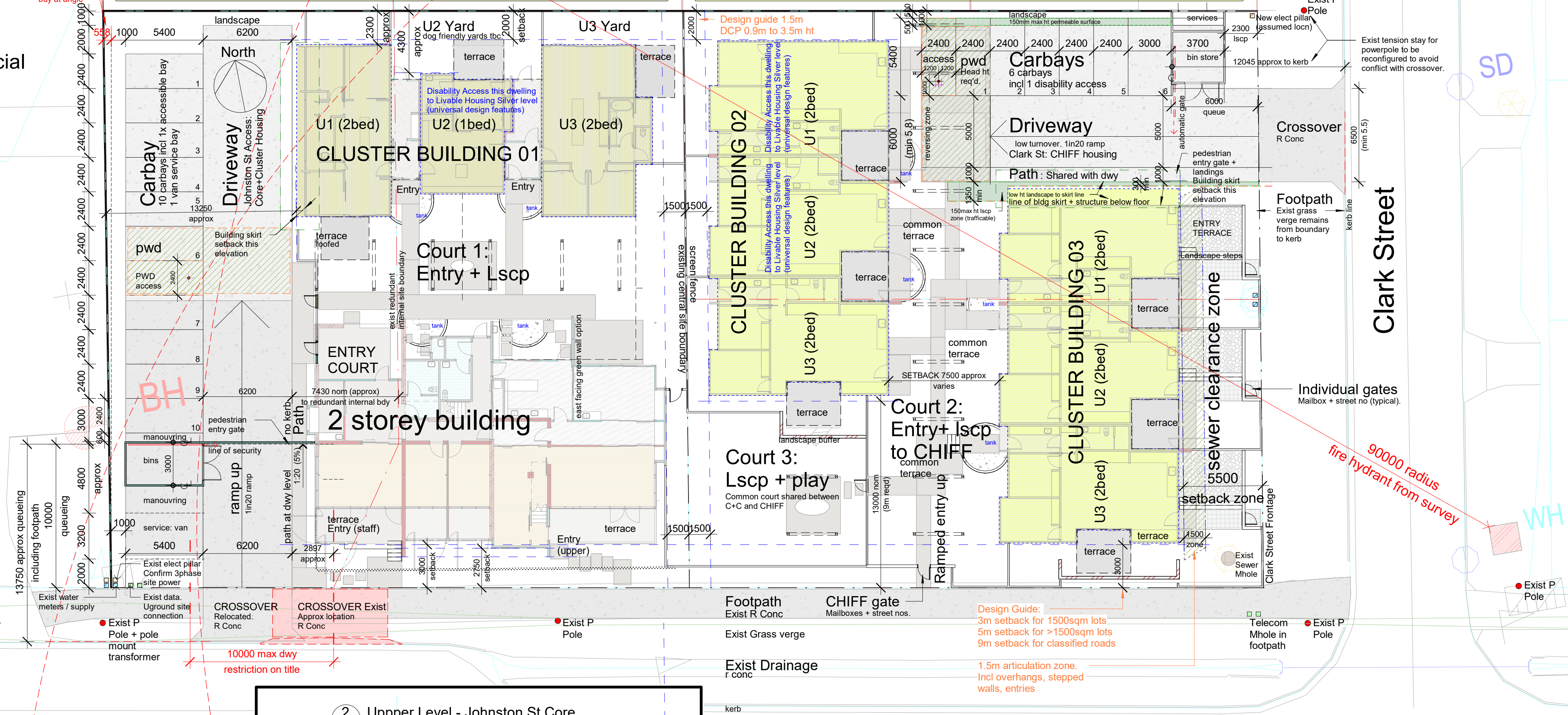
Existing Neighbouring House (small lot)

Exist shed

Exist shed

JOHNSTON ST CORE+CLUSTER HOUSING

CLARK ST CHIFF HOUSING



Johnston Street

Clark Street

SITE PLAN A1

1 : 200 @ A1 size. A3 is 50% (1:400)

Revision Schedule		
Description	No	Date
TPPlan prep 4Dec	P1	4Dec23
TPPlan update	P2	11Dec23
TPPlan Lodge	A	20Dec23